

AVERAGE EXISTING GRADE			
POINT	ELEVATION	WALL LENGTH	ELEV X LENGTH
A	277.3	76'-5 3/4"	21207.7 SF
B	278.1	19'-3"	5363.4 SF
C	277.8	27'-0 1/4"	7506.4 SF
D	277.8	7'-9"	2153 SF
E	277.8	3'-11 1/2"	1099.6 SF
F	277.8	28'-7"	7940.5 SF
G	278	13'-2"	3660.3 SF
H	278	22'-6"	6255 SF
I	277.6	5'-11"	1642.5 SF
J	277.7	19'-2 1/2"	5334.1 SF
K	277.6	8'-2 1/2"	2278.6 SF
L	277.5	27'-9"	7700.6 SF
M	277.1	24'-9 1/2"	6869.8 SF
N	277	17'-11"	4962.9 SF
O	278	20'-11"	5814.8 SF
P	278	6'-0"	1668 SF
Q	278	7'-2 1/2"	2003.9 SF
R	278.7	6'-7 1/2"	1846.4 SF
S	277.8	11'-11 1/2"	3322 SF
T	277.2	5'-3 1/2"	1466.8 SF
U	276.1	15'-6"	4279.5 SF

104365.8 SF / LENGTHS = 376' = 277'-7" (ROUND TO NEAREST INCH)
 HEIGHT LIMIT = 307'-7"
AVERAGE GRADE = 277'-7" HEIGHT LIMIT = 307'-7"

LOT SLOPE CALCULATION	
POINT	ELEVATION
LOW	273.7
HIGH	279

ELEVATION DIFFERENCE = 5.3'
 HORIZONTAL DISTANCE BETWEEN HIGH/LOW POINTS = 169'
 5.3/169 = 3.1%

SITE PLAN

SCALE: 1" = 10'

LAND USE CODE COMPLIANCE STATISTICS

EXISTING		PROPOSED	
LOT AREA:	14,078 SF (PER SURVEY)	LOT AREA:	14,078 SF (PER SURVEY)
EXISTING HOUSE/GARAGE (DEMO):	2222.8 SF	NEW HOUSE AND ATTACHED GARAGE (INCL ROOF):	4950.7 SF
EXISTING SHED (DEMO):	186.1 SF	NEW DRIVEWAY (INCL GRASS STRIP):	489.1 SF
EXISTING DRIVEWAY (DEMO):	687 SF	NEW OUTDOOR STRUCTURE OVER DECK:	282.4 SF
EXISTING LOT COVERAGE:	3058.9 SF	PROPOSED LOT COVERAGE:	5622.2 SF (39.9%)
ALLOWED LOT COVERAGE:	14078 SF X 40% = 56312 SF_OK	ALLOWED LOT COVERAGE:	14078 SF X 40% = 56312 SF_OK
		(9 REMAINING SF TO BE APPLIED TO HARDSCAPE)	
REQD SETBACKS:		FRONT:	20'
		REAR SETBACK:	25'
		123' X 17' = 17'-6" COMBINED TOTAL	
		17'-6" X 33' = 5'-9 1/4" MIN SIDE YARD	
LANDSCAPE AREA:		PROPOSED LANDSCAPE AREA:	8487.8 SF (60.3%)
		REQD LANDSCAPE AREA:	14078 SF X 60% = 8446.8 SF
EXISTING WALKWAY (DEMO):	362.2 SF	UNCOVERED DECKS:	39.3 SF
EXISTING PATIO (DEMO):	802 SF	UNCOVERED PATIOS:	827.5 SF
EXISTING HARDSCAPE:	442.4 SF	WALKWAYS:	343.5 SF
ALLOWED HARDSCAPE:	14078 SF X 9% = 1267.02 SF_OK	STAIRS:	22 SF
		ROCKERY AND RETAINING WALLS:	30.4 SF
		PROPOSED HARDSCAPE:	1262.7 SF
		ALLOWED HARDSCAPE:	14078 SF X 9% = 1267.02 SF + 9 SF = 1276.02 SF
		PARKING:	3 REQUIRED PARKING SPACES FOR HOUSES OVER 3000 SF
		BUILDING HEIGHT INFORMATION:	BUILDING HEIGHT LIMIT = 30' REFER TO SHEET A2.0 AND A2.1 FOR DETAILED HEIGHT INFORMATION
		FLOOR AREA RATIO:	14078 SF X 40% = 56312 SF (MEASURED TO OUTSIDE OF EXTERIOR WALL) REFER TO SHEET A1.1 FOR FAR CALCULATIONS

- NOTES:
 1. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO GROUND WORK
 2. REFER TO CIVIL ENGINEERING FOR EROSION CONTROL MEASURES
 3. REFER TO CIVIL ENGINEERING FOR GRADING, DRAINAGE, PAVING, AND UTILITIES
 4. REFER TO GEOTECHNICAL ENGINEERING REPORT
 5. REFER TO LANDSCAPE ARCHITECT'S PLANS AND SPECIFICATIONS
 6. INSTALL OR UPSIZE WATER METER AND/OR SUPPLY LINE, MIN 1/2" METER SIZE AND 125" MINIMUM SUPPLY LINE SIZE (METER TO HOUSE)

LAUREN AND ELI BRUMBAUGH
 4124 83RD AVE SE
 MERCER ISLAND WA 98040



H 2 D
 ARCHITECTURE
 +
 DESIGN

23020 EDMONDS WAY, #113
 EDMONDS, WA 98020
 P. 206.542.3734
 www.h2darchitects.com

DATE: 4/12/2022
 REV1: 5/13/2022

PERMIT SET

SITE PLAN

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

LOT 6, BLOCK 1, ISLAND RIDGE TRACTS, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 47 OF PLATS, PAGE(S) 71, IN KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

N 89°45'50" E BETWEEN FOUND CENTERLINE MONUMENTATION ALONG SE 42ND ST PER PLAT

REFERENCES

- R1. RECORD OF SURVEY, VOL. 132, PG. 105, RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 71, PG. 216, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88 PER CITY OF MERCER ISLAND BENCHMARK #3060

CONC MON W/ 2" BRASS CAP W/ PUNCH, DOWN 0.75' (INTERSECTION OF ISLAND CREST WAY & SE 42ND ST)

ELEV: 284.936'

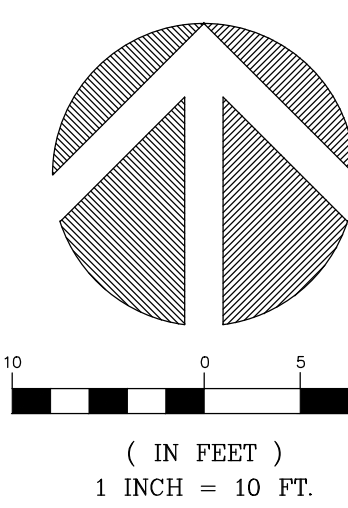
SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MAY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES. TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 3626500030
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 14,078 S.F. (0.32 ACRES)
6. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN CHICAGO TITLE COMPANY OF WASHINGTON, COMMITMENT NO. 0199932-04 (SECOND), WITH AN EFFECTIVE DATE OF FEBRUARY 22, 2021 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

- ASPHALT SURFACE
- BUILDING
- CENTERLINE ROW
- CULVERT PIPE
- CONCRETE SURFACE
- RETAINING WALL
- FENCE LINE (WOOD)
- FLAGSTONE SURFACE
- GAS LINE
- GAS METER
- INLET (TYPE 1)
- MAILBOX (RESIDENTIAL)
- MONUMENT IN CASE (FOUND)
- POST
- POST
- POWER METER
- POWER OVERHEAD
- POWER POLE
- IRON PIPE (FOUND)
- REBAR & CAP (SET)
- ROCKERY
- SEWER LINE
- SEWER MANHOLE
- STORM DRAIN LINE
- SIZE TYPE
- TREE (AS NOTED)
- WATER LINE
- WATER METER
- WATER VALVE

VICINITY MAP N.T.S.



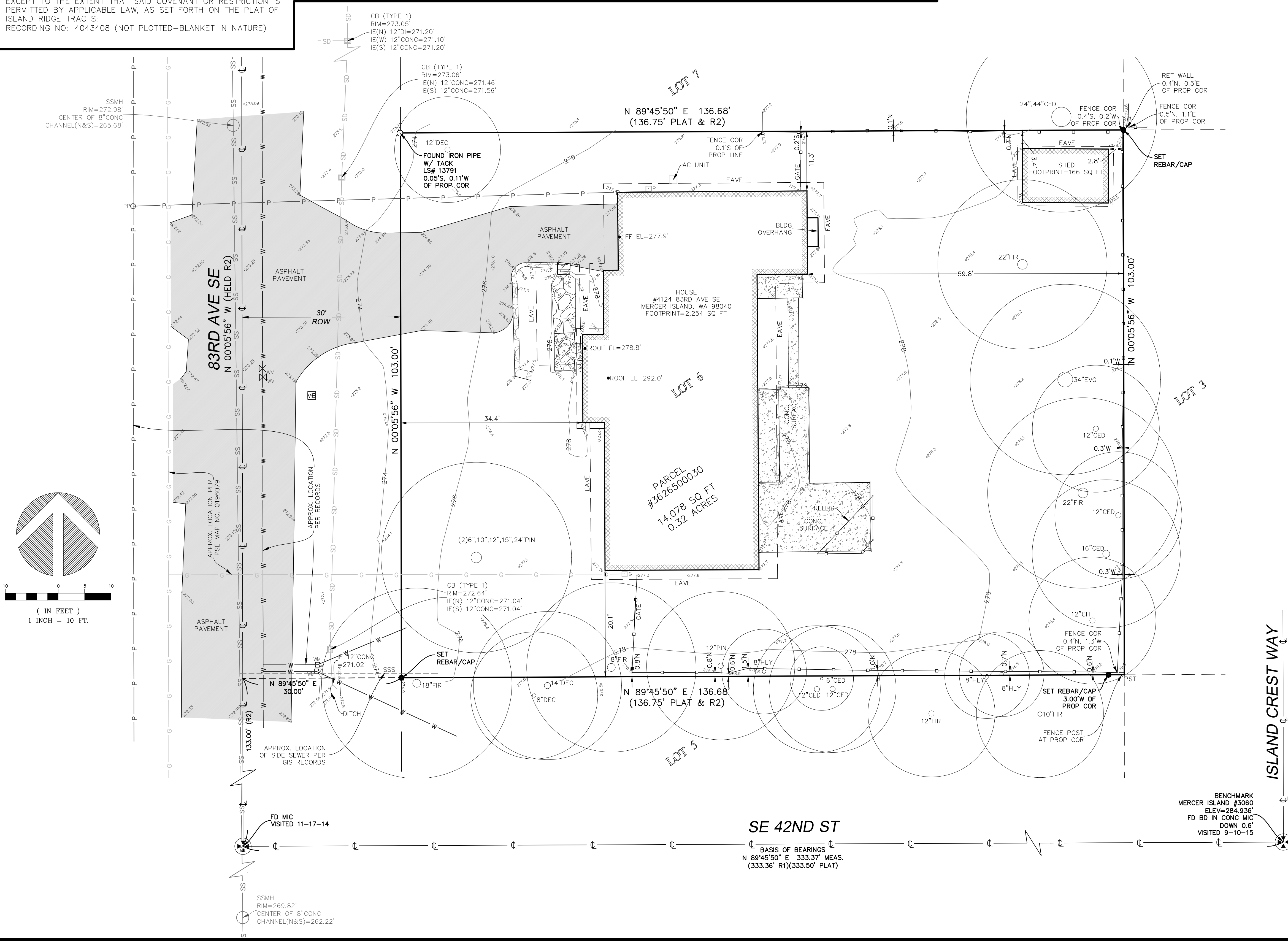
SCHEDULE B ITEMS

1. SIDE SEWER EASEMENT
RECORDING DATE: JANUARY 2, 1961
RECORDING NO.: 5290509
WIDTH: 6 FEET
AFFECTS: AS CONSTRUCTED
SAID EASEMENT CONTAINS A PROVISION FOR BEARING A PROPORTIONATE OR EQUAL COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID COMMON SEWER BY THE COMMON USERS. (AS CONSTRUCTED-EASEMENT IS 4' WIDE AND RUNS NEAR SOUTH PROP LINE)
2. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES AND STATEMENTS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
RECORDING DATE: OCTOBER 23, 1950
RECORDING NO.: 4071179
MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS
RECORDING DATE: JANUARY 9, 2004
RECORDING NO.: 20040109001818 (NOT PLOTTED-BLANKET IN NATURE)
3. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
RECORDING DATE: OCTOBER 23, 1950
RECORDING NO.: 4071179
MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS
RECORDING DATE: JANUARY 9, 2004
RECORDING NO.: 20040109001818 (NOT PLOTTED-BLANKET IN NATURE)
4. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON SURVEY:
RECORDING NO: 9003149025 (CURRENT CONDITIONS SHOWN)
5. INDEMNIFICATION AND HOLD HARMLESS AND THE TERMS AND CONDITIONS THEREOF:
RECORDING DATE: SEPTEMBER 22, 2003
RECORDING NO.: 20030922000128 (NOT PLOTTED-BLANKET IN NATURE)

INDEXING INFORMATION	
<input checked="" type="checkbox"/> NE 1/4	SECTION: 13
<input checked="" type="checkbox"/> SE 1/4	TOWNSHIP: 24N
<input type="checkbox"/> SW 1/4	RANGE: 04E W.M.
<input type="checkbox"/> NW 1/4	COUNTY: KING

STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 3626500030



Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER:	210661
DATE:	05/21/21
DRAFTED BY:	TGC
CHECKED BY:	JGM/CSP
SCALE:	1" = 10'
REVISION HISTORY	
SHEET NUMBER	
1 OF 1	

measure success

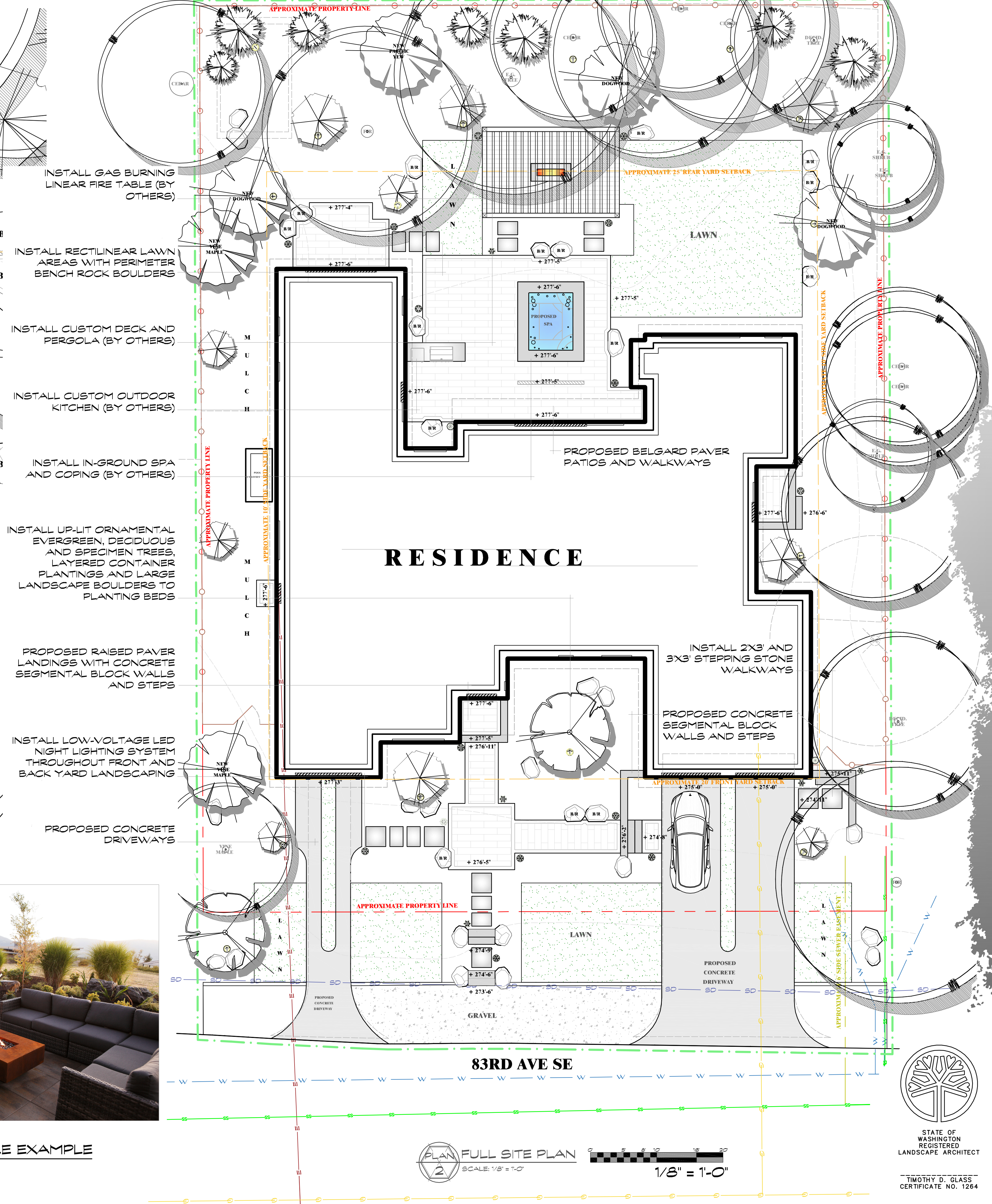
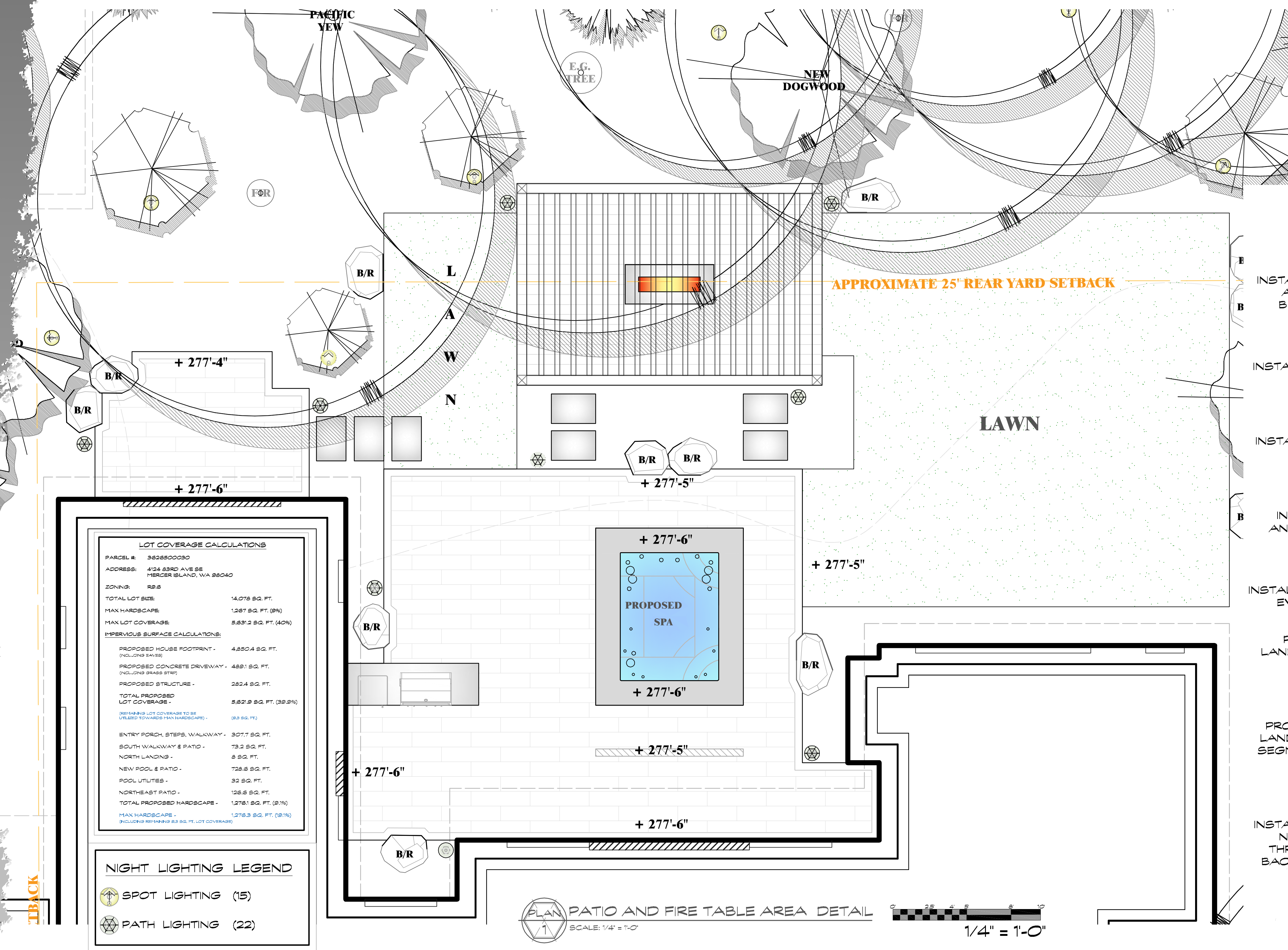
ALDERWOOD

LANDSCAPE ARCHITECTURE | CONSTRUCTION

ADDITIONAL NOTES:

- ALL SPOT ELEVATIONS, SETBACKS AND TREE LOCATIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED DURING CONSTRUCTION
- LOT COVERAGE CALCULATIONS HAVE BEEN ASSESSED, AND PROPOSED PLAN MEETS CODE GUIDELINES SET FORTH BY THE CITY OF MERCER ISLAND

BRUMBAUGH RESIDENCE



LOT COVERAGE CALCULATIONS

PARCEL #: 382800000
ADDRESS: 4124 83RD AVE SE, MERCER ISLAND, WA 98040
ZONING: R2.5

TOTAL LOT SIZE: 14,078 SQ. FT.
MAX HARDSCAPE: 1,287 SQ. FT. (9%)
MAX LOT COVERAGE: 8,632 SQ. FT. (61%)

IMPERVIOUS SURFACE CALCULATIONS:

PROPOSED HOUSE FOOTPRINT: 4,850.4 SQ. FT. (INCLUDES PORCH)
PROPOSED CONCRETE DRIVEWAY: 458.1 SQ. FT. (INCLUDES DRIVEWAY)
PROPOSED STRUCTURE: 282.4 SQ. FT.
TOTAL PROPOSED LOT COVERAGE: 5,590.9 SQ. FT. (39.8%)

DETERMINING LOT COVERAGE TO BE USED FOR HARDSCAPE: (83 SQ. FT.)

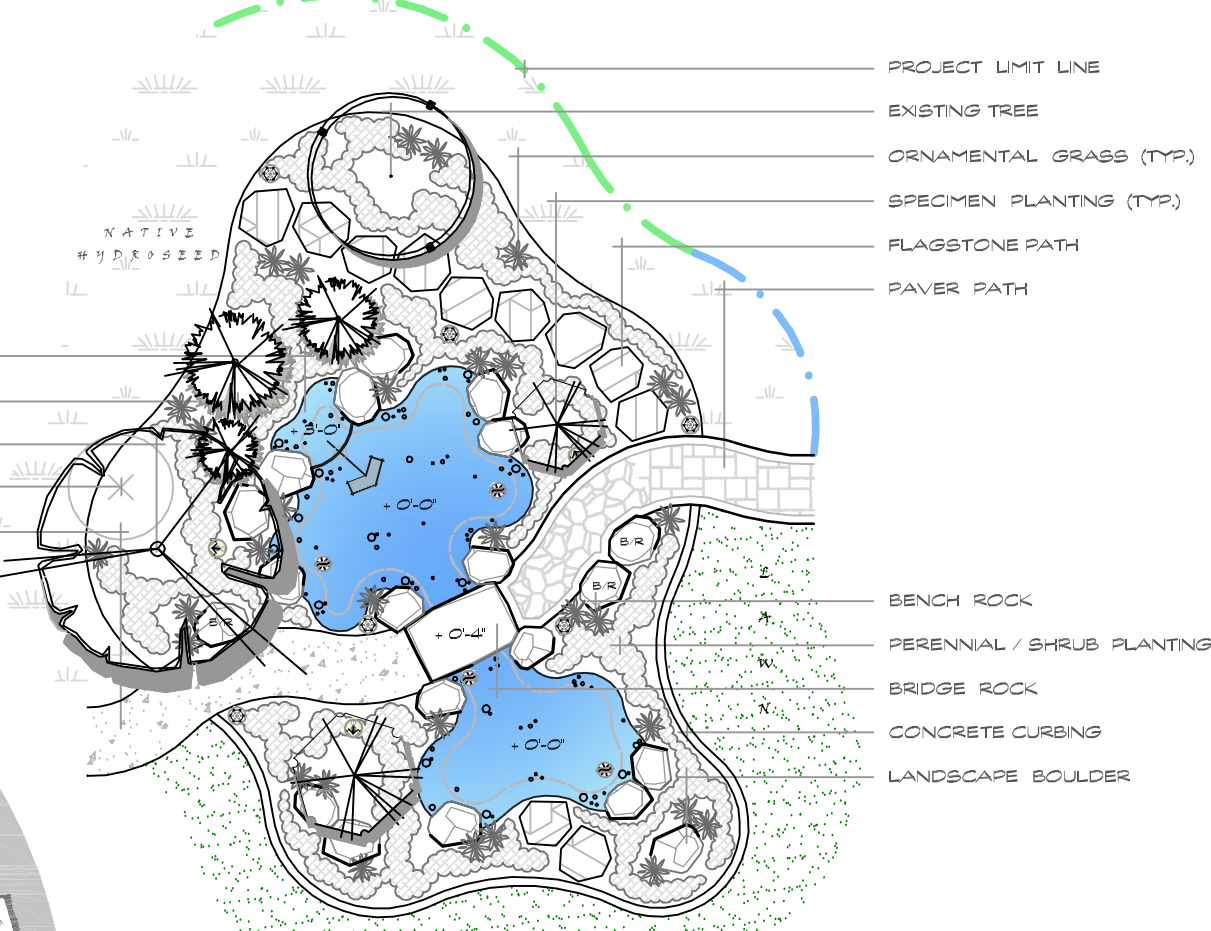
ENTRY PORCH, STEPS, WALKWAY: 307.7 SQ. FT.
SOUTH WALKWAY & PATIO: 73.2 SQ. FT.
NORTH LANDINGS: 8.5 SQ. FT.
NEW POOL & PATIO: 728.8 SQ. FT.
POOL UTILITIES: 32 SQ. FT.
NORTHEAST PATIO: 128.8 SQ. FT.
TOTAL PROPOSED HARDSCAPE: 1,278.1 SQ. FT. (9.1%)

MAX HARDSCAPE: 1,278.3 SQ. FT. (9.1%) (INCLUDING REFINISHED 83 SQ. FT. LOT COVERAGE)

NIGHT LIGHTING LEGEND

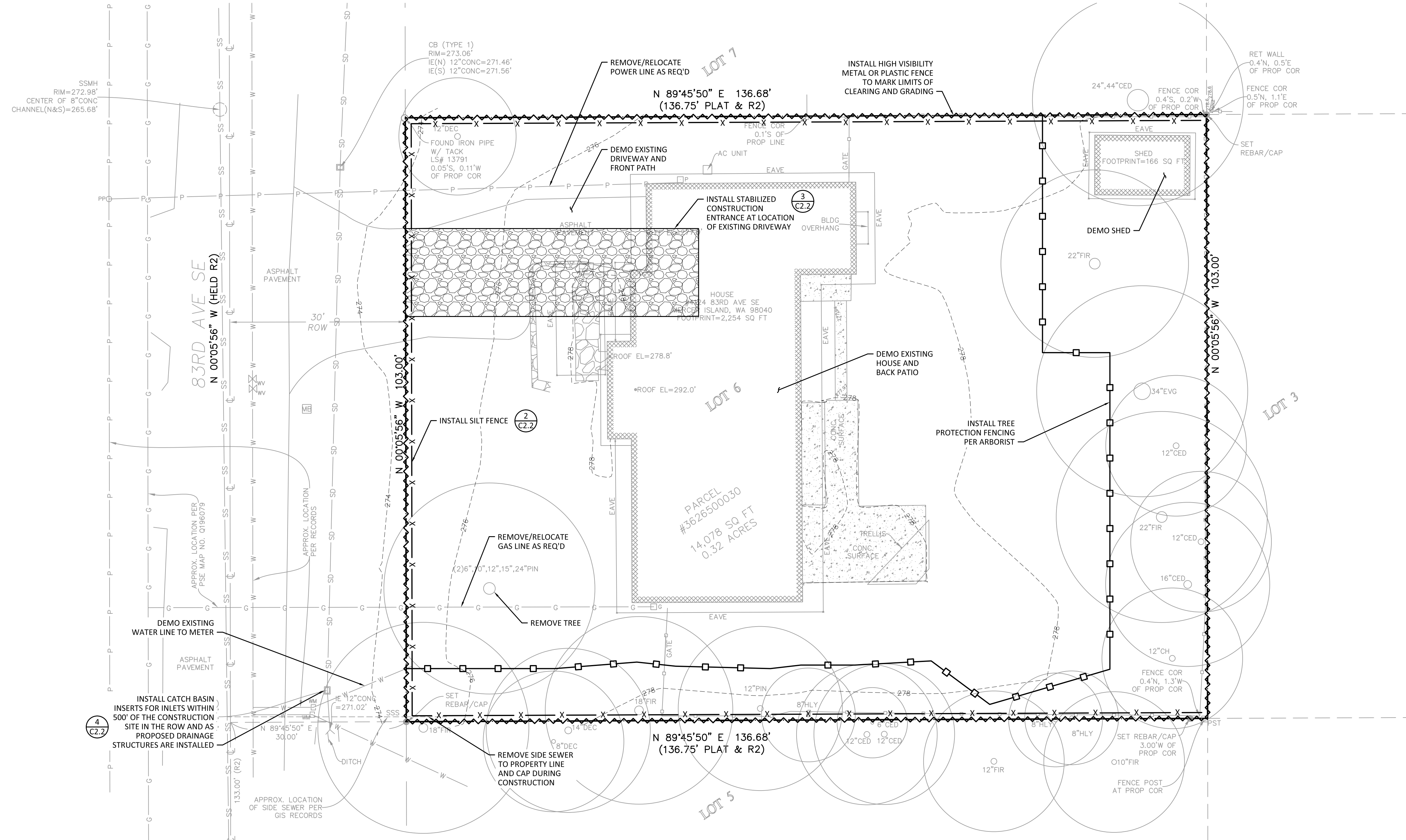
SPOT LIGHTING (15)

PATH LIGHTING (22)



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NE 1/4 OF NE 1/4, SECTION 32, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.

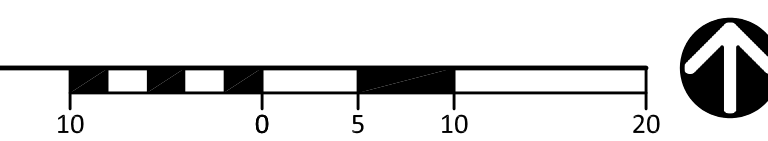


1 TEMPORARY EROSION CONTROL PLAN

SCALE: 1" = 10'

FOUNDATION PLAN NOTES:

1. BEFORE BEGINNING LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING CLEARLY MARK ALL CLEARING LIMITS.
2. ALL DISTURBED AREAS ON AND OF-SITE SHALL BE COMPOST-AMENDED PER THE REQUIREMENTS OF BMP TS.13 IN THE STORMWATER MANUAL VOLUME V, CHAPTER 5.
3. SOILS MUST BE STABILIZED AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST.
4. CONCRETE TRUCKS MUST NOT BE WASHED OUT ONTO THE GROUND, OR INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS. EXCESS CONCRETE MUST NOT BE DUMPED ON-SITE.
5. ADDITIONAL BMPS MAY BE REQUIRED DURING CONSTRUCTION.



06/12/22

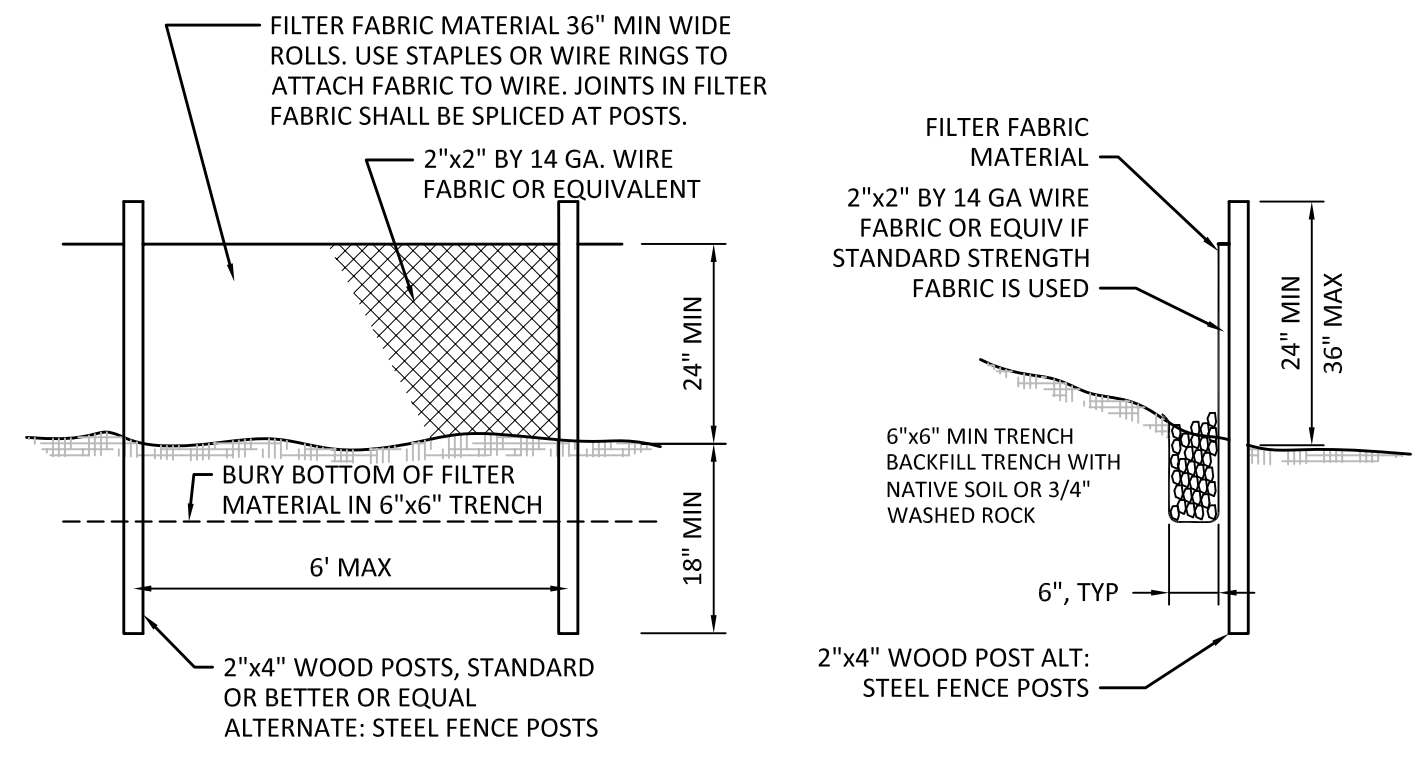
MARK	DATE	DESCRIPTION
	03/23/22	PERMIT SUBMITTAL
	05/12/22	PERMIT RESUBMITTAL

DESIGN:	BJL
DRAWN:	JCP
CHECK:	JPU
JOB NO:	22032.20
DATE:	03/23/22

BRUMBAUGH RESIDENCE
 4124 83RD AVE SE
 MERCER ISLAND, WA 98040
 TEMPORARY EROSION
 CONTROL PLAN

SHEET:

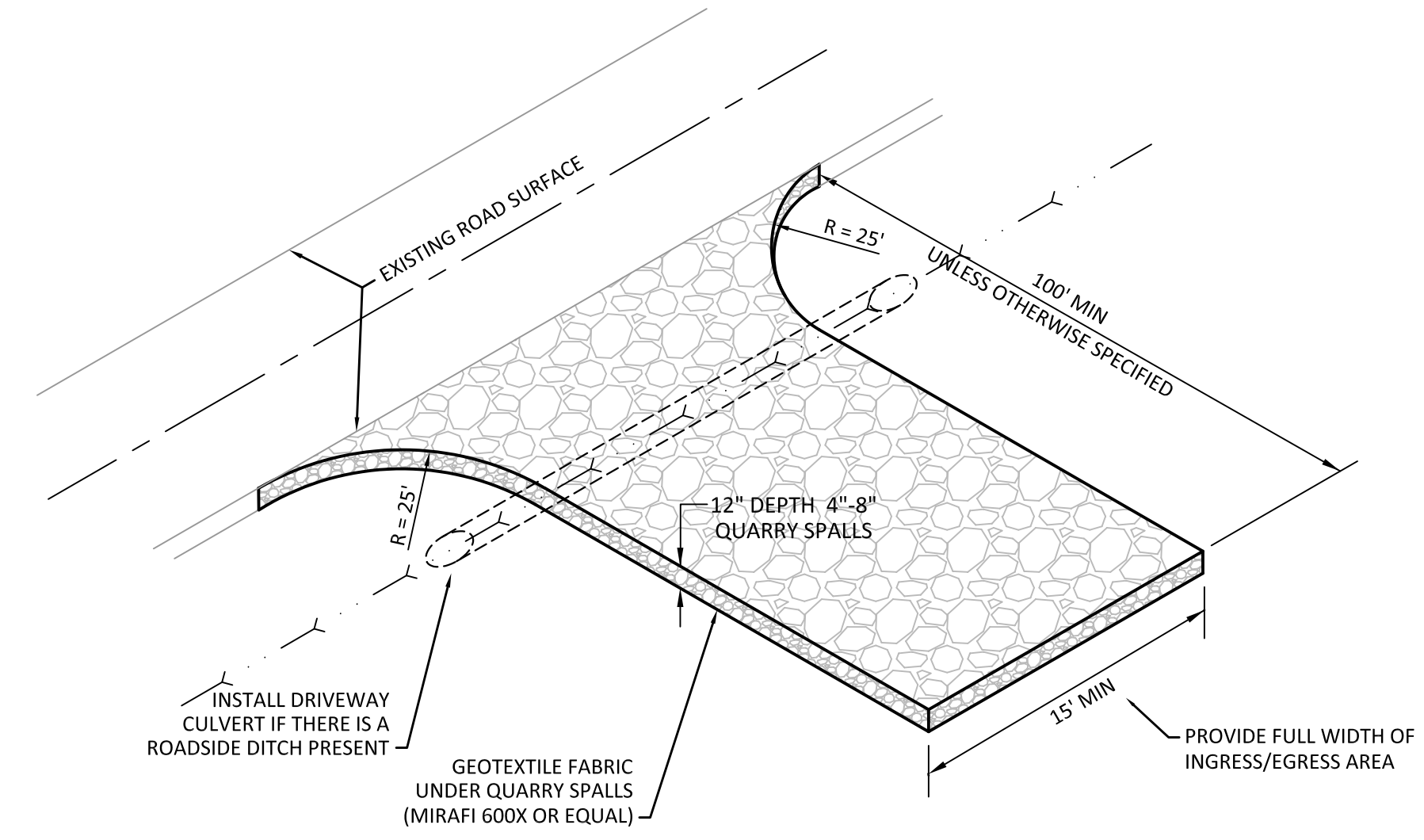
C2.1



SILT FENCE NOTES:

1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
2. THE SILT FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 18 INCHES).
3. A SHALLOW TRENCH SHALL BE EXCAVATED, ROUGHLY 6 INCHES WIDE AND 6 INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POSTS TO ALLOW THE LOWER EDGE OF THE FILTER FABRIC TO BE SECURED WITH GRAVEL.
4. WHEN FILTER FABRIC NOT AS STRONG AS MIRAFI 700X IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE MESH SHALL EXTEND INTO THE SHALLOW TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
5. THE MIRAFI 700X FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND AT LEAST 18 INCHES OF THE FABRIC SHALL BE BURIED IN THE SHALLOW TRENCH. THE FILTER FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE AND SHALL NOT BE STAPLED TO TREES.
6. WHEN EXTRA-STRENGTH FILTER FABRIC (MIRAFI 700X OR EQUAL) AND FOUR (4) POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF NOTE 5 APPLYING.
7. THE TRENCH SHALL BE BACKFILLED WITH NATIVE SOIL OR 3/4" - 1.5" WASHED ROCK.
8. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED. THE NEWLY DISTURBED AREAS RESULTING FROM SILT FENCE REMOVAL SHALL BE IMMEDIATELY SEEDED AND MULCHED, OR OTHERWISE PERMANENTLY STABILIZED TO THE SATISFACTION OF THE CIVIL INSPECTOR.
9. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. MAINTENANCE: ANY DAMAGED OR CLOGGED FENCE SHALL BE REPAIRED/REPLACED IMMEDIATELY. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT DEPTH IS 6 INCHES OR GREATER. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.

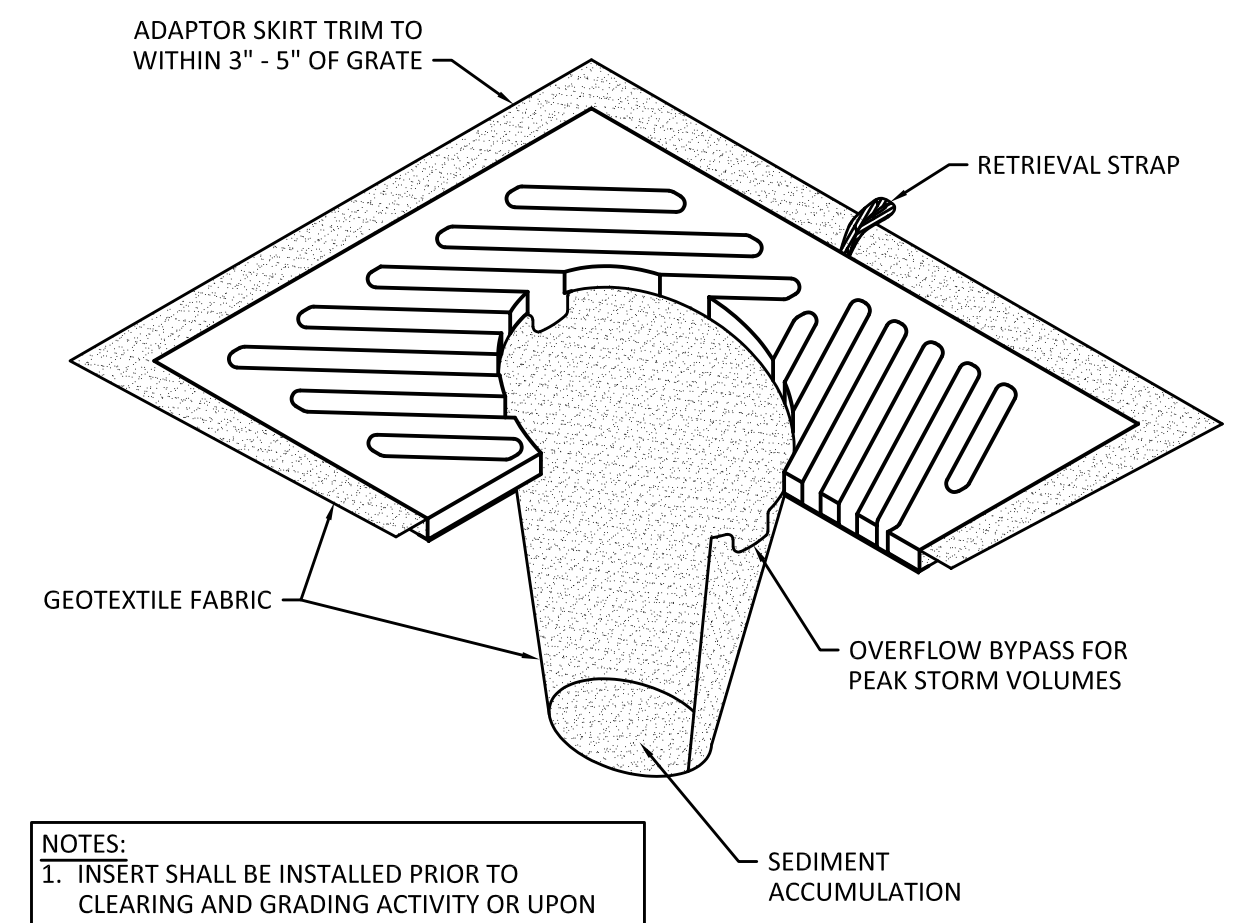
1 SILT FENCE
 SCALE: 1/2" = 1'-0"



STABILIZED CONSTRUCTION ENTRANCE NOTES:

1. INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. THE QUARRY SPALLS SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS IN THE PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. AGGREGATE: 4" TO 8" QUARRY SPALLS PER WSDOT STD. SPECS. SEC. 9-13.6.
3. ENTRANCE DIMENSIONS: THE AGGREGATE LAYER MUST BE AT LEAST 12" THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 100 FEET (UNLESS OTHERWISE APPROVED BY CIVIL INSPECTOR).
4. WASHING: IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH THE ROCK ENTRANCE, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
5. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2" STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY BY SWEEPING. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY.

2 STABILIZED CONSTRUCTION ENTRANCE
 SCALE: NTS



- NOTES:**
1. INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY OR UPON PLACEMENT OF A NEW CATCH BASIN.
 2. SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
 3. SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING INTO THE CATCH BASIN.

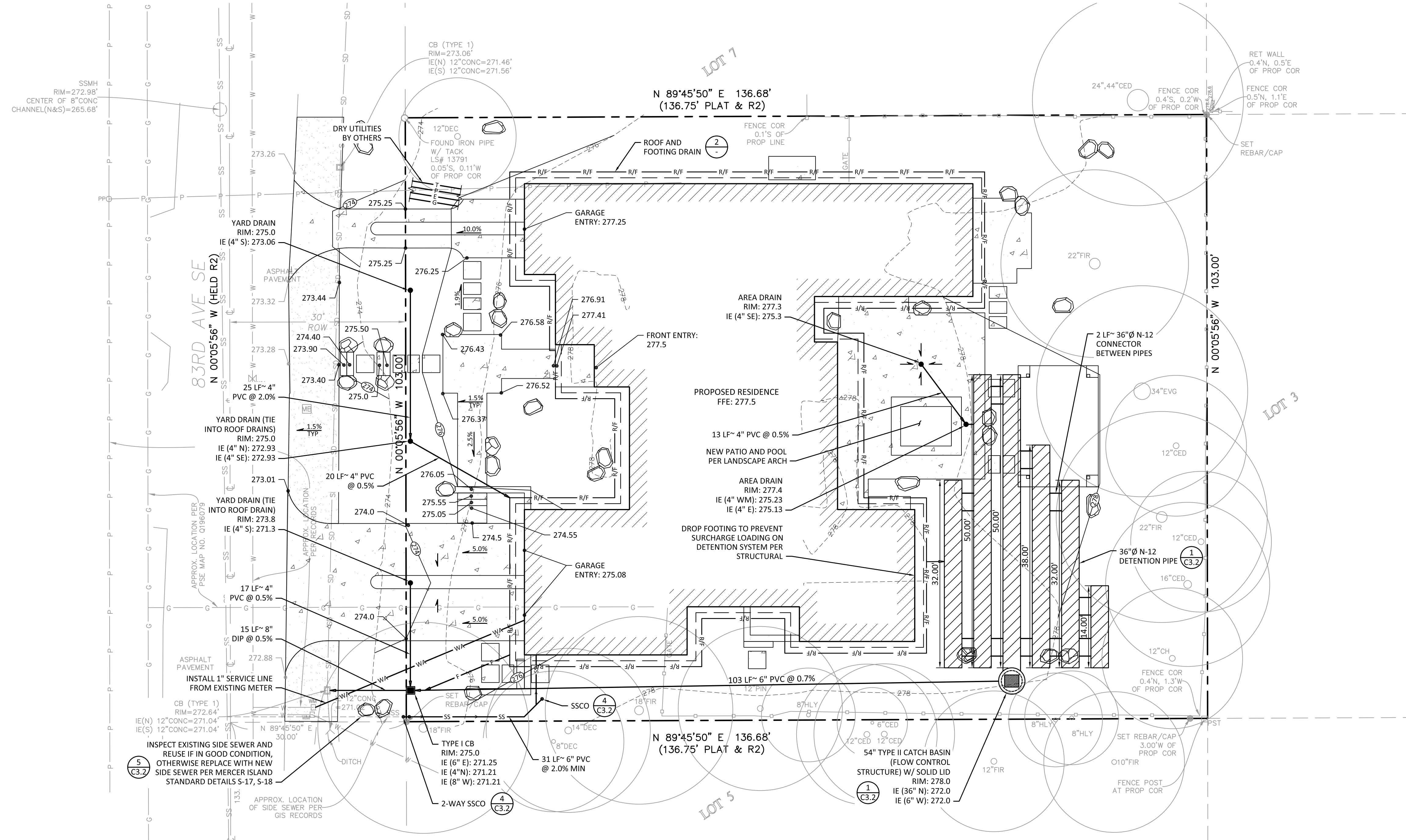
3 CATCH BASIN INSERT
 SCALE: NTS

MARK	DATE	DESCRIPTION
	03/23/22	PERMIT SUBMITTAL
	05/12/22	PERMIT RESUBMITTAL

DESIGN:	BJL
DRAWN:	JCP
CHECK:	JPU
JOB NO:	22032.20
DATE:	03/23/22

BRUMBAUGH RESIDENCE
 4124 83RD AVE SE
 MERCER ISLAND, WA 98040
 TEMPORARY EROSION
 CONTROL DETAILS

NE 1/4 OF NE 1/4, SECTION 32, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.



1 GRADING AND UTILITY PLAN

SCALE: 1" = 10'

GRADING AND DRAINAGE NOTES:

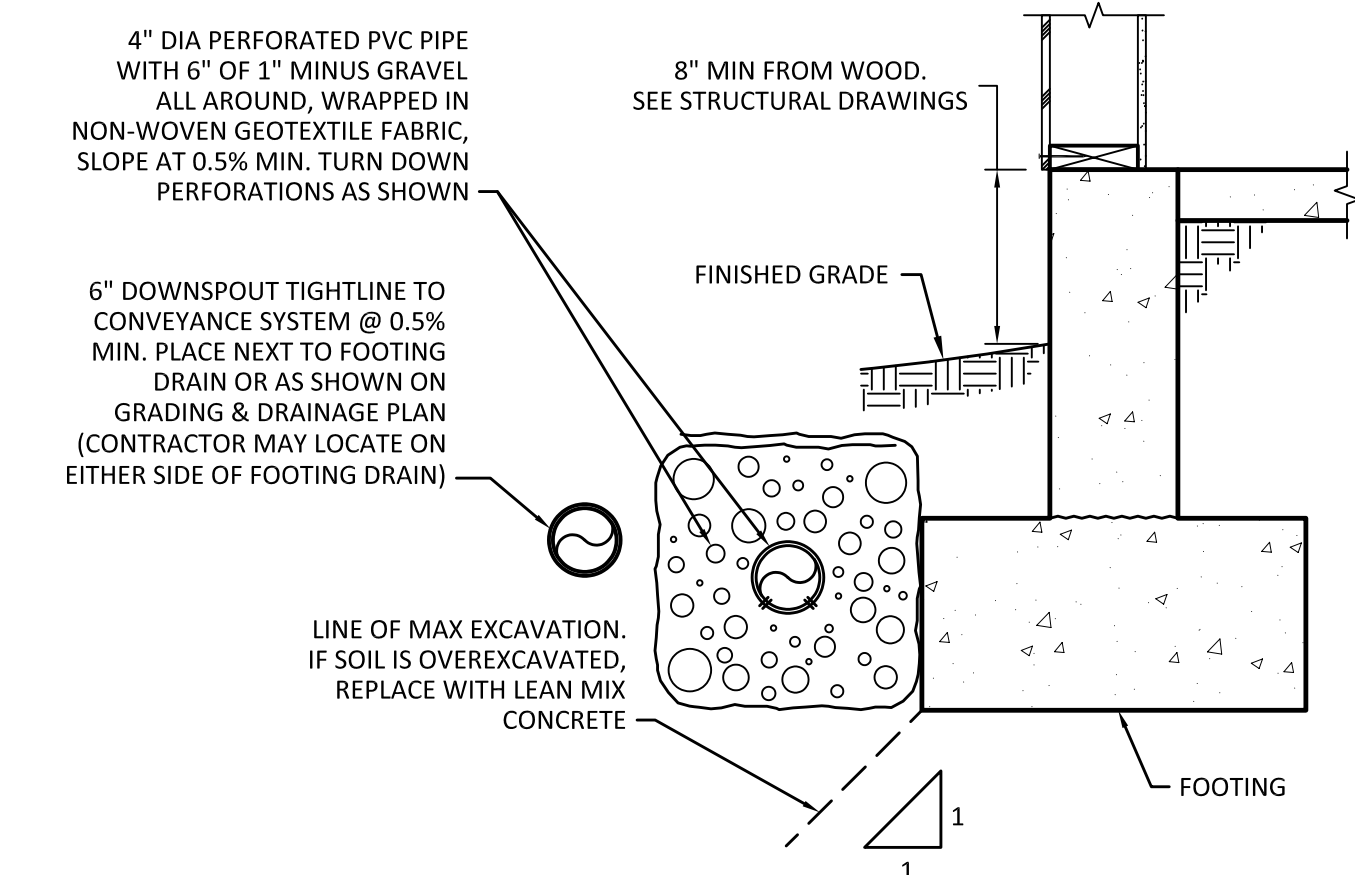
- ALL DISTURBED AREAS ON AND OFF-SITE BE COMPOST-AMENDED PER THE REQUIREMENTS OF BMP TS.13 IN THE STORMWATER MANUAL VOLUME V, CHAPTER 5.
- A TYPE II CATCH BASIN IS REQUIRED WHEREVER RIM TO INVERT EXCEEDS 5'.
- A MINIMUM OF 2' OF COVER IS REQUIRED FOR ALL PIPES LOCATED UNDER DRIVEABLE SURFACES AND 1.5' OF COVER UNDER LANDSCAPE SURFACES.
- NEW/REPLACE IMPERVIOUS SURFACE (INCLUDING ROW): 7,734 SF
 - NEW BUILDING: 4,851 SF ROOF AREA (INCLUDING OVERHANGS). RUNOFF ROUTED TO DETENTION PIPE THROUGH ROOF DRAINS
 - NEW WALKWAYS: 2,284 SF. RUNOFF ROUTED TO RUNOFF THROUGH YARD DRAINS, CONVEYANCE PIPES. SOME RUNOFF IN THE ROW AND SOUTH DRIVEWAY WILL BE ROUTED STRAIGHT TO PUBLIC STORM MAIN.
 - NEW GRAVEL: 599 SF. RUNOFF ROUTED TO PUBLIC STORM MAIN. DETENTION SIZED TO INCLUDE ALL BYPASS AREA.

GRADING QUANTITIES	
TOTAL EXCAVATION (CUT) -	125 CU YDS TOTAL
EMBANKMENT (FILL) -	25 CU YDS
TOTAL	150 CU YDS

THE QUANTITIES SHOWN ABOVE ARE FOR THE PERMIT PROCESS ONLY. THESE VALUES ARE APPROXIMATE. DO NOT USE FOR BIDDING, PAYMENT, OR ESTIMATING PURPOSES.

WATER AND SEWER PLAN NOTES:

- PLUMBING CONSULTANT TO VERIFY METER & SERVICE SIZE. SIZING TO BE CONFIRMED ONCE PLUMBING PERMIT IS ISSUED AND REVIEWED.
- PLUMBING CONSULTANT TO VERIFY SIZE OF EXISTING SEWER STUB IS ADEQUATE FOR PROPOSED BUILDING.
- ALL THRUST BLOCKING PER 5/C4.1.
- EXISTING LATERAL SHALL BE INSPECTED BY THE CITY SEWER DIVISION TO DETERMINE IF IT IS ACETABLE CONDITION FOR REUSE. IF NOT, A NEW 6" LATERAL FROM THE MAIN TO THE PROPERTY LINE WILL BE REQUIRED.
- A MINIMUM OF 3' SEPARATION IS REQUIRED BETWEEN THE DRY UTILITIES (POWER, GAS, PHONE, CABLE ETC) AND SEWER, WATER, AND STORM.



2 FOOTING AND ROOF DRAIN SECTION
SCALE: NTS

ENGINEERING
250 4TH AVE. S., SUITE 200
EDMONDS, WASHINGTON 98020
PHONE (425) 778-8500
FAX (425) 778-5536

CRIG GUILLEBERT
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
06/12/22

MARK	DATE	DESCRIPTION
	03/23/22	PERMIT SUBMITTAL
	05/12/22	PERMIT RESUBMITTAL

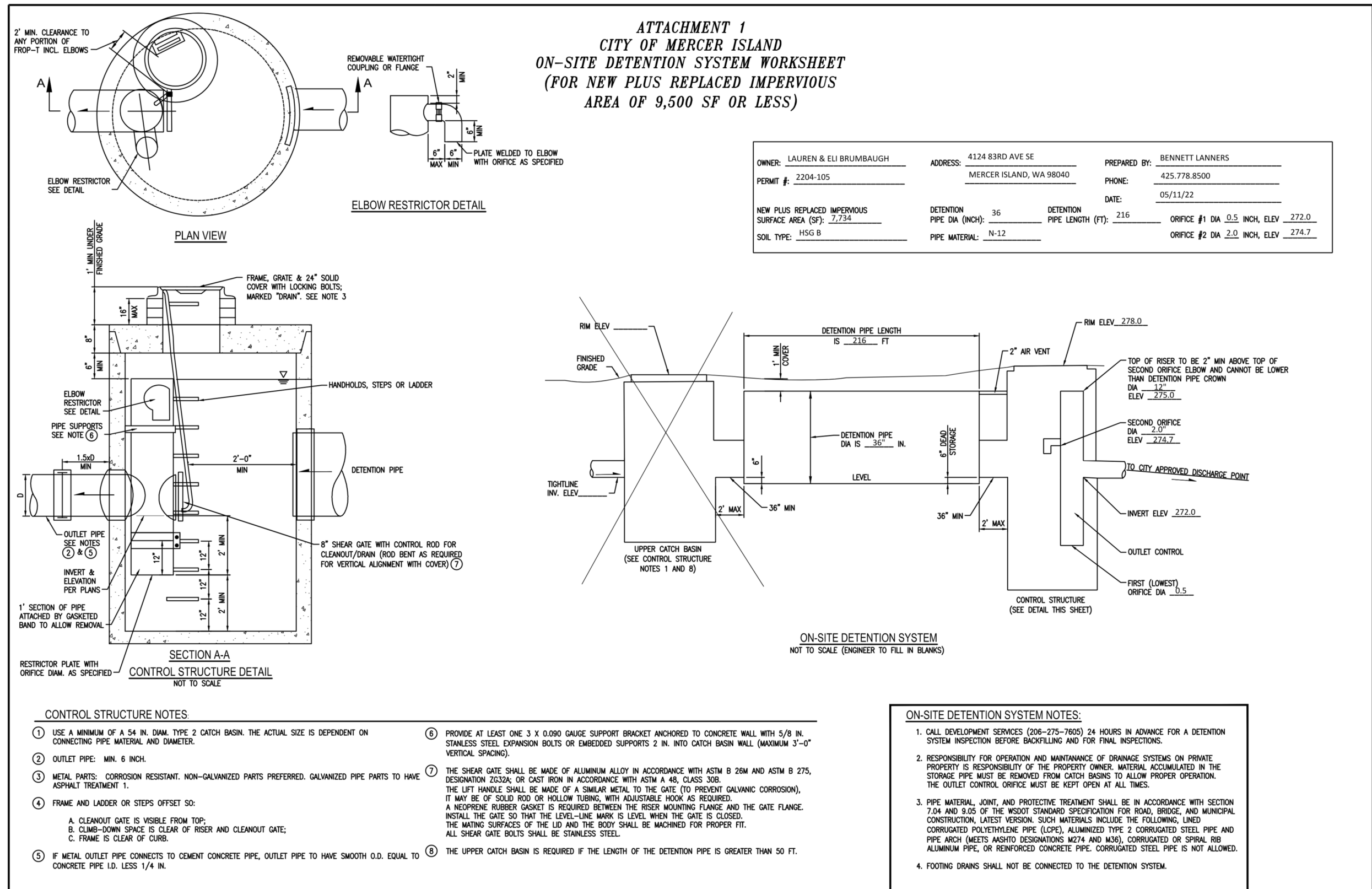
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DRAWN: JCP
CHECK: JPU
JOB NO: 22032.20
DATE: 03/23/22

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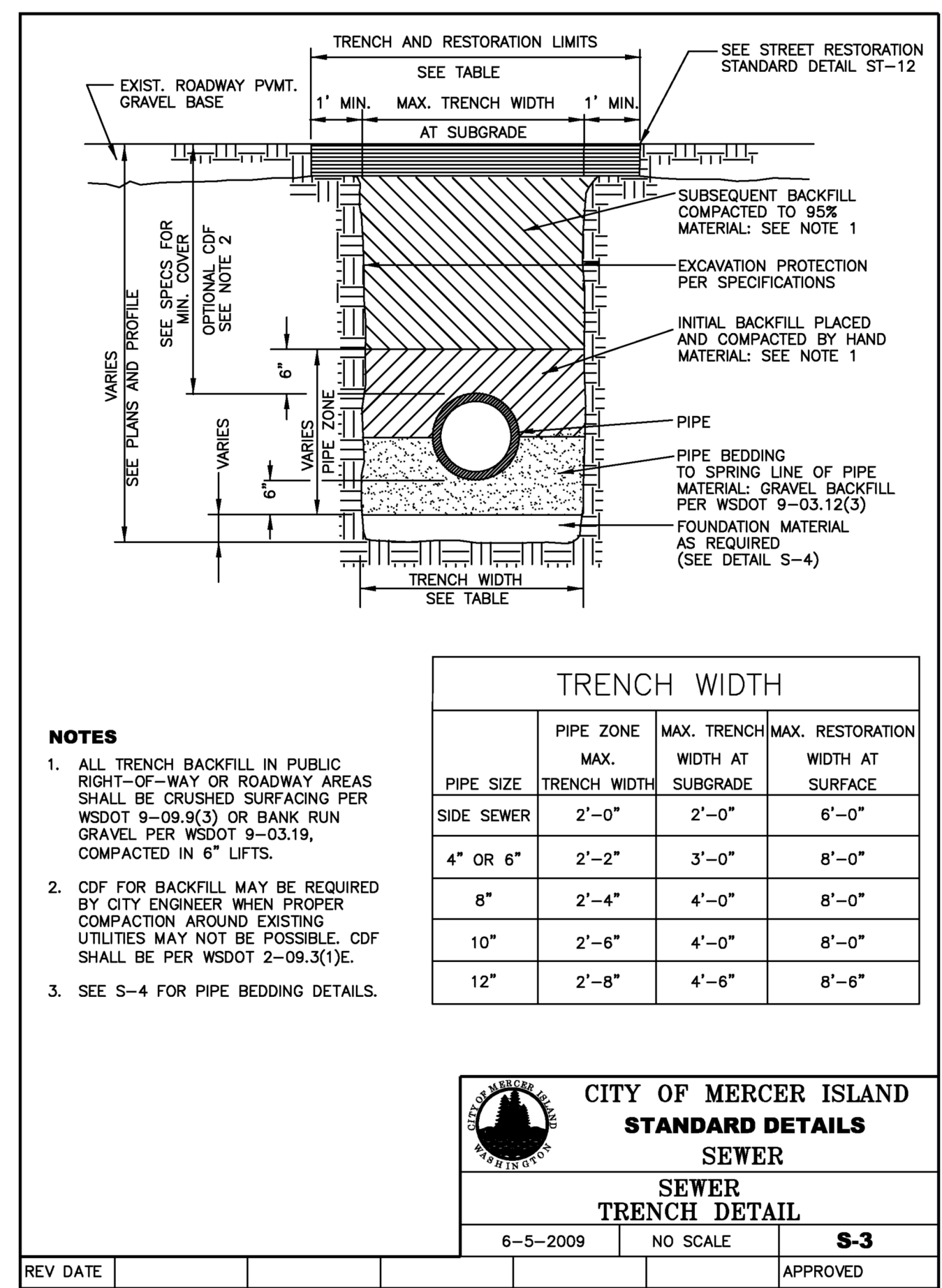
GRADING AND UTILITY PLAN

SHEET:

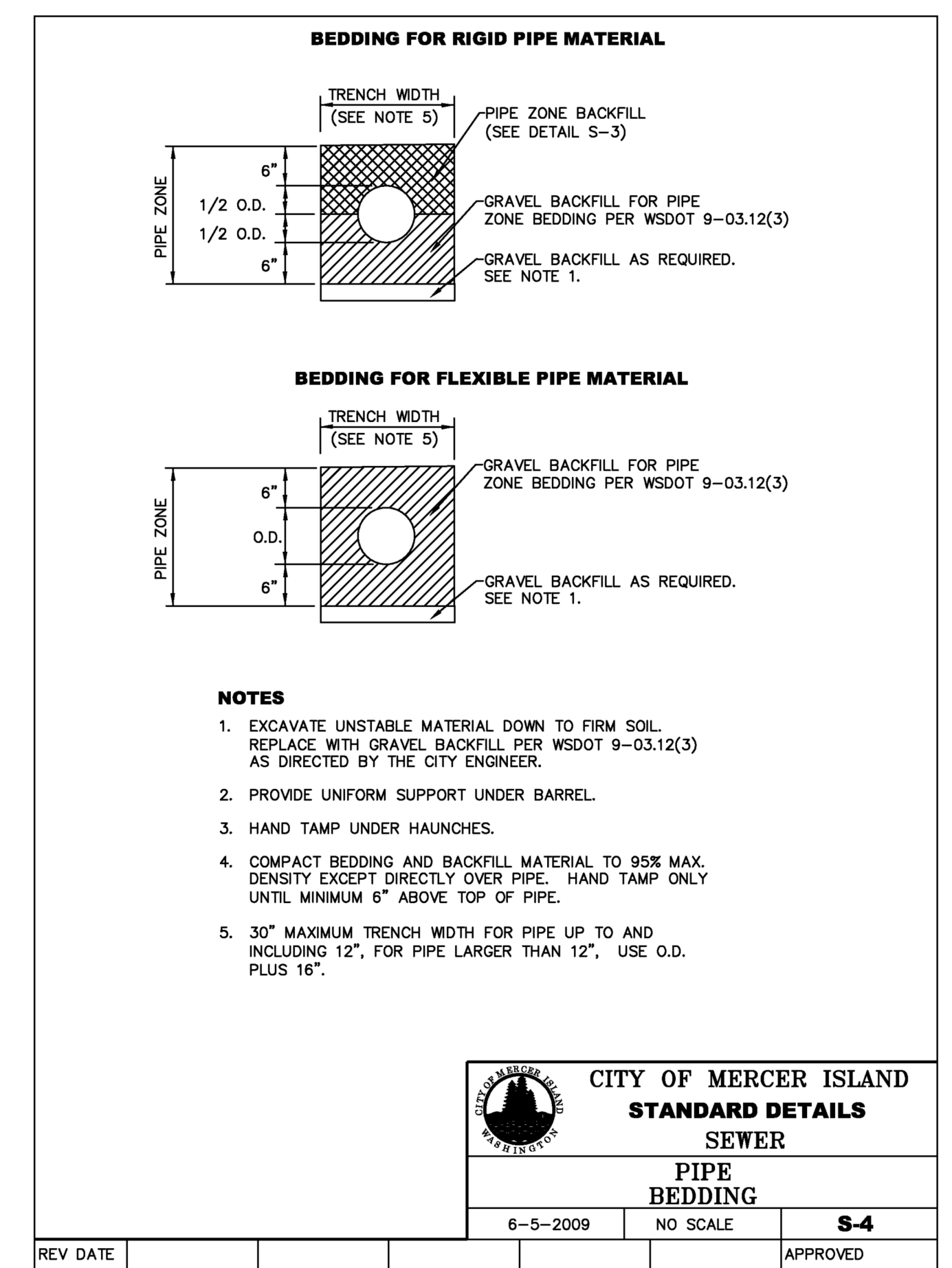
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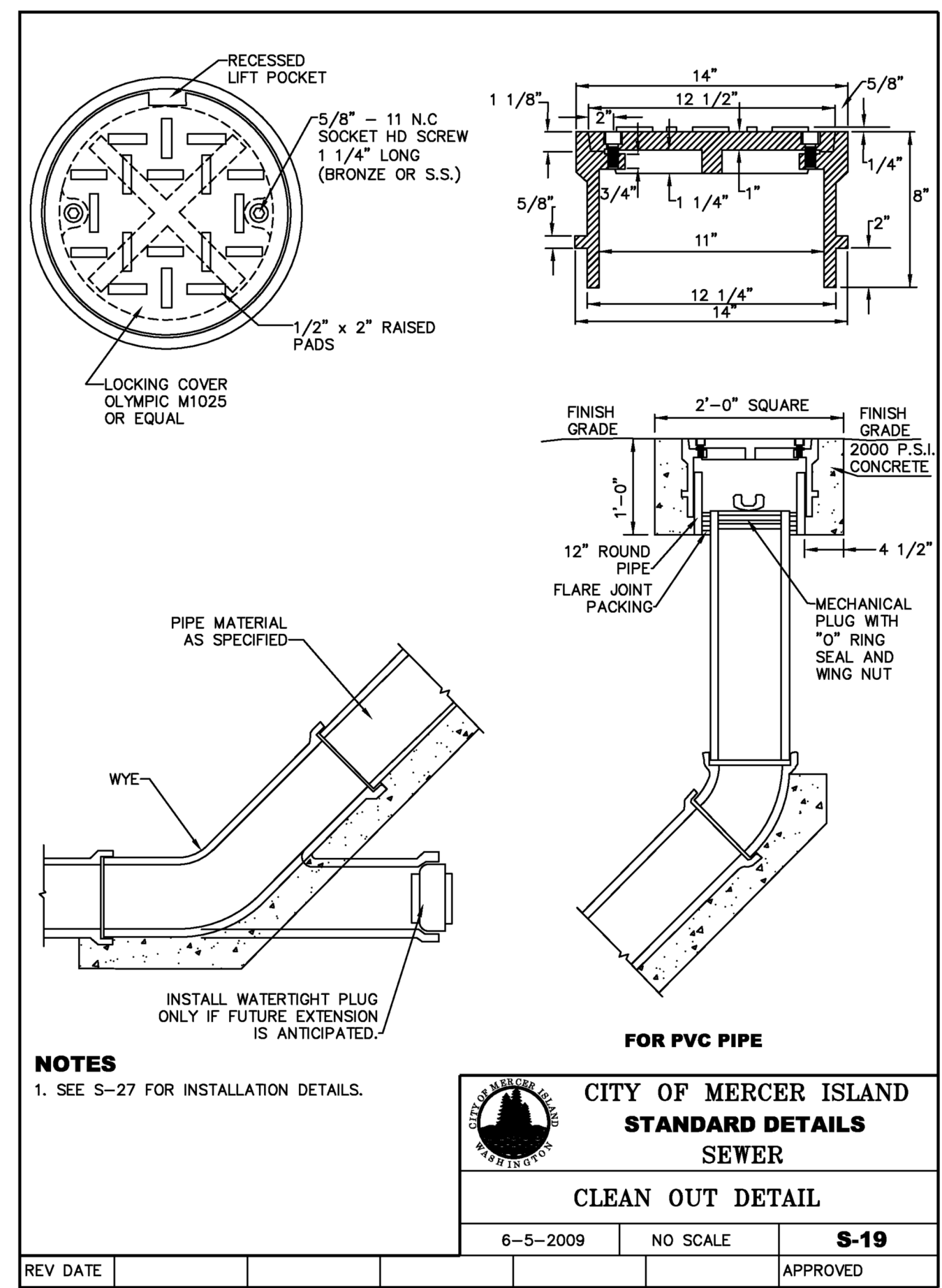
1 CITY OF MERCER ISLAND STANDARD DETAIL
 SCALE: NTS



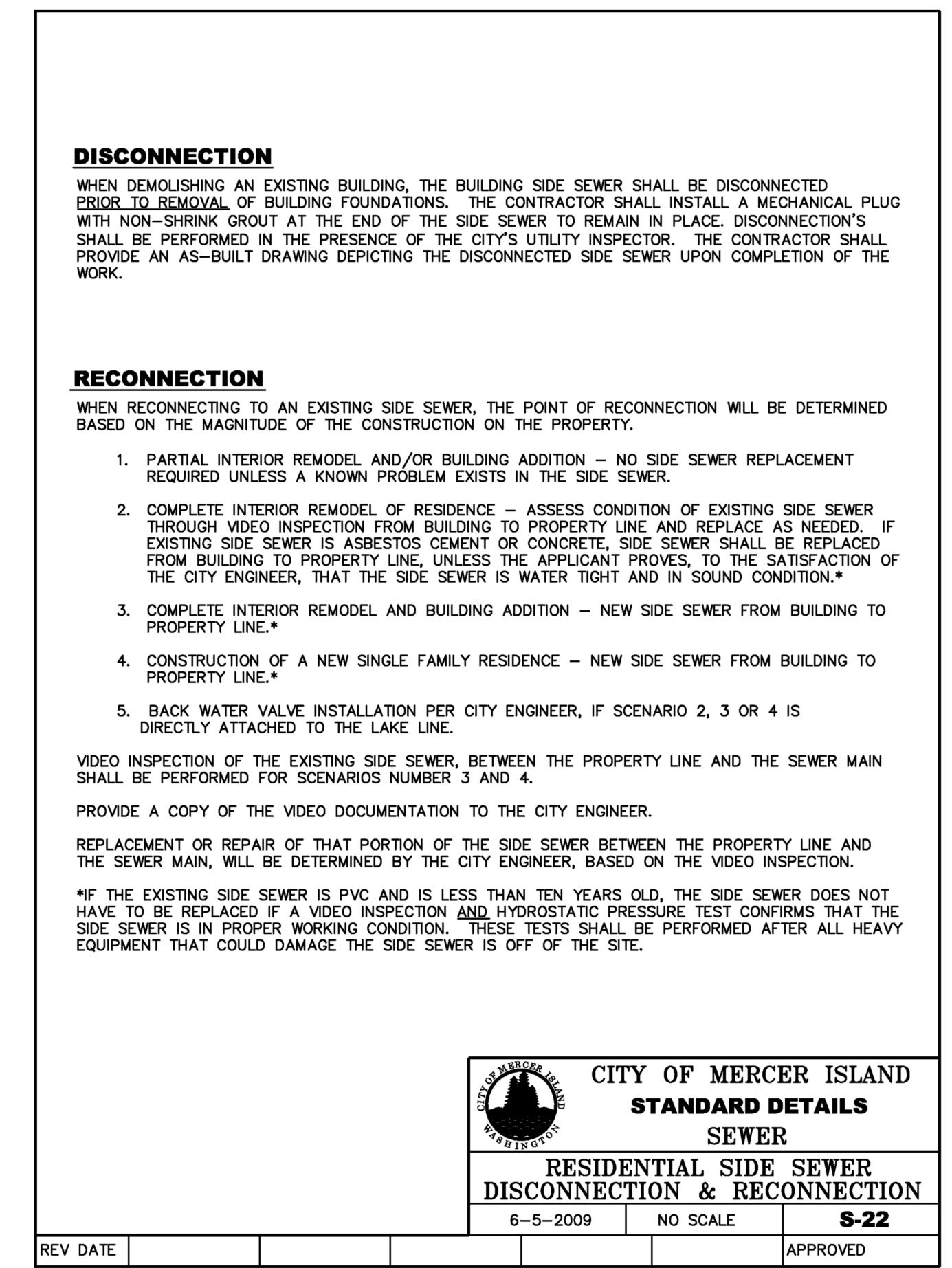
2 CITY OF MERCER ISLAND STANDARD DETAIL
 SCALE: NTS



3 CITY OF MERCER ISLAND STANDARD DETAIL
 SCALE: NTS



4 CITY OF MERCER ISLAND STANDARD DETAIL
 SCALE: NTS



5 CITY OF MERCER ISLAND STANDARD DETAIL
 SCALE: NTS



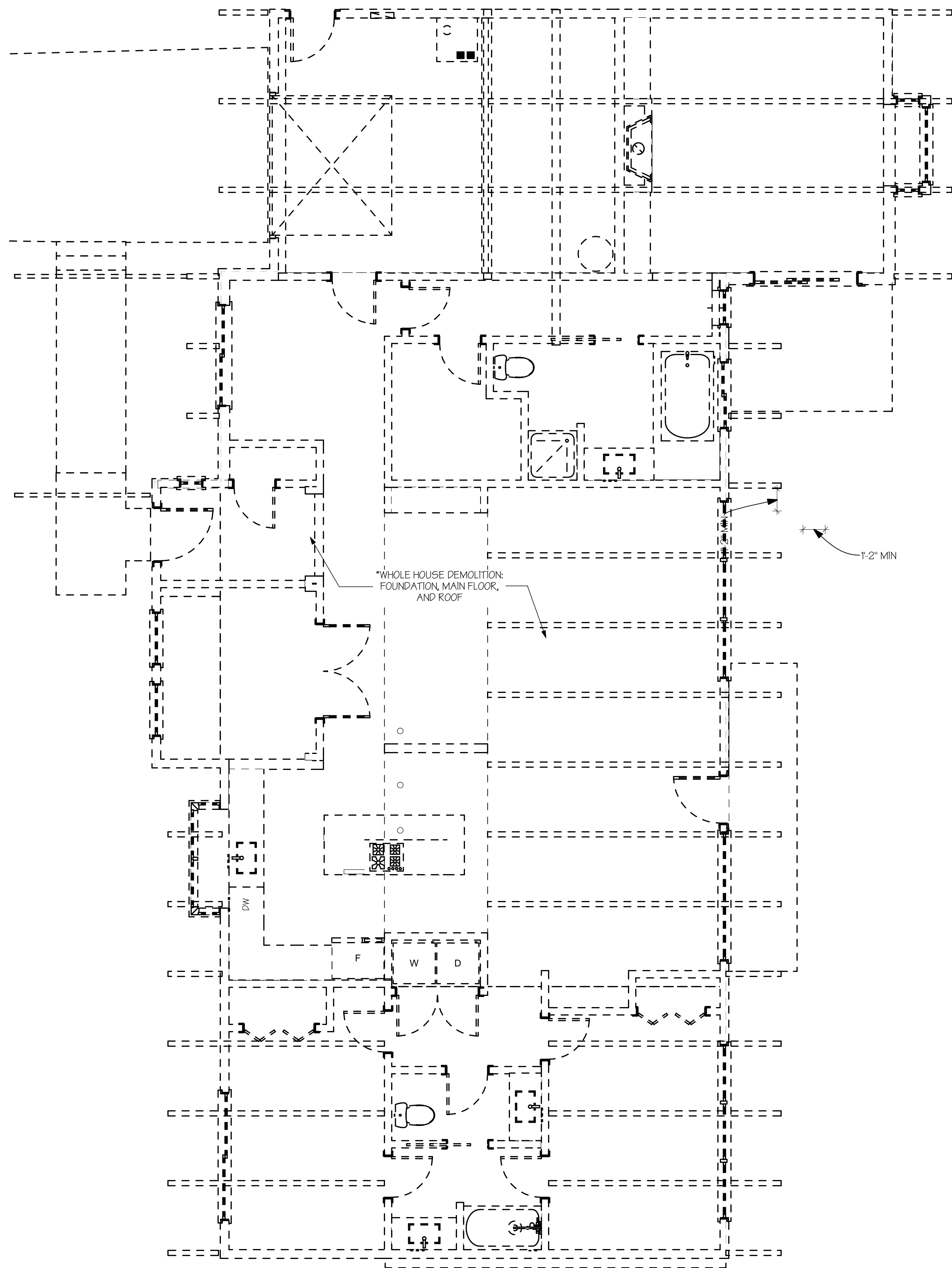
MARK	DATE	DESCRIPTION
	03/23/22	PERMIT SUBMITTAL
	05/12/22	PERMIT RESUBMITTAL

DESIGN: BJL
 DRAWN: JCP
 CHECK: JPU
 JOB NO: 22032.20
 DATE: 03/23/22

BRUMBAUGH RESIDENCE
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 MERCER ISLAND, WA 98040

GRADING AND UTILITY DETAILS

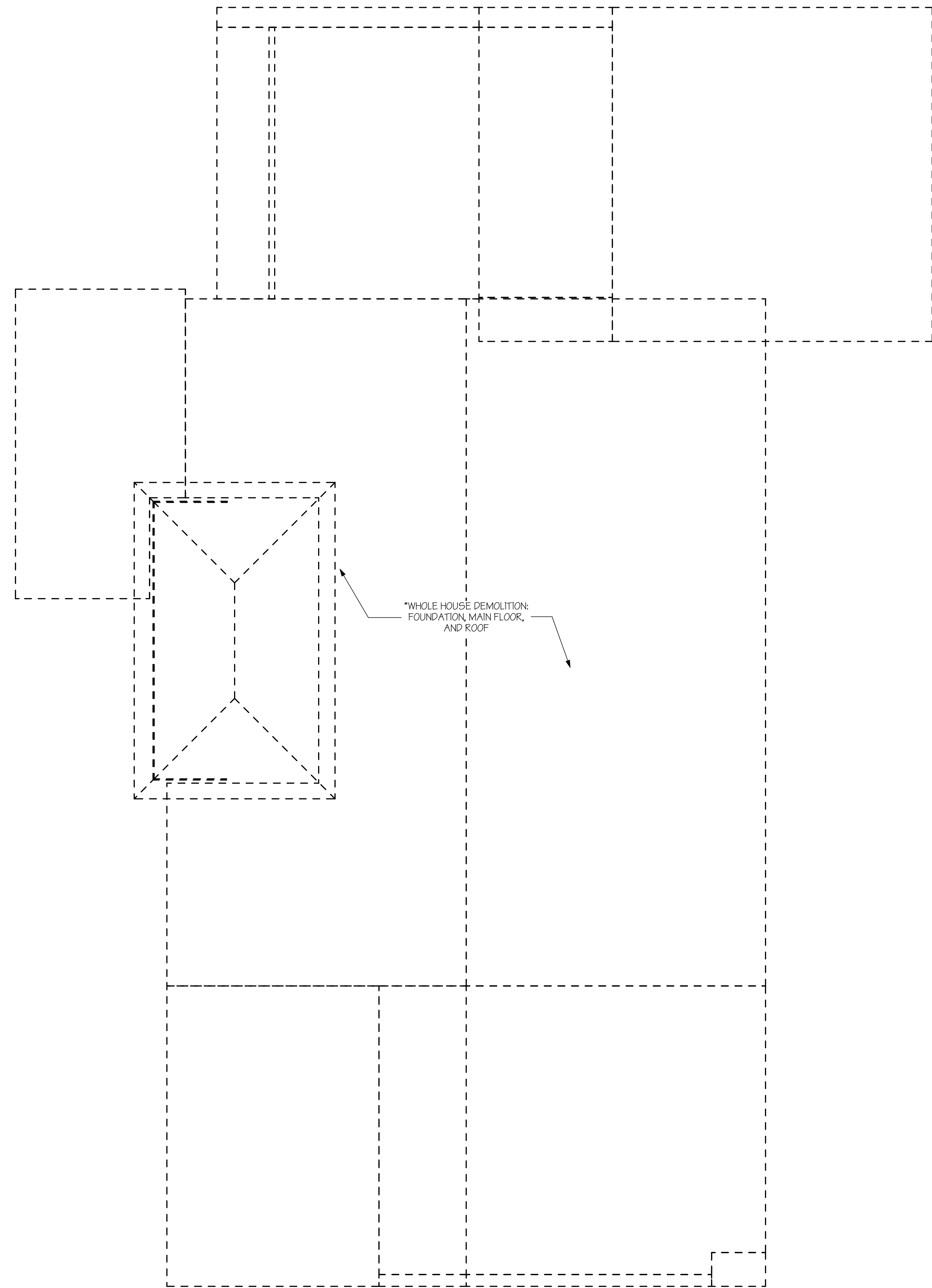
SHEET:
C3.2



MAIN FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"
 [Solid Line] EXISTING WALLS
 [Dashed Line] DEMO WALLS

NOTES:
 1. VERIFY ALL ITEMS FOR SALVAGE WITH OWNER PRIOR TO DEMOLITION.
 2. ALL SHORING TO BE THE RESPONSIBILITY OF THE BUILDER. CONTACT STRUCTURAL ENGINEER WITH QUESTIONS.



ROOF DEMOLITION PLAN

SCALE: 1/4" = 1'-0"
 [Solid Line] EXISTING WALLS
 [Dashed Line] DEMO WALLS

NOTES:
 1. VERIFY ALL ITEMS FOR SALVAGE WITH OWNER PRIOR TO DEMOLITION.
 2. ALL SHORING TO BE THE RESPONSIBILITY OF THE BUILDER. CONTACT STRUCTURAL ENGINEER WITH QUESTIONS.

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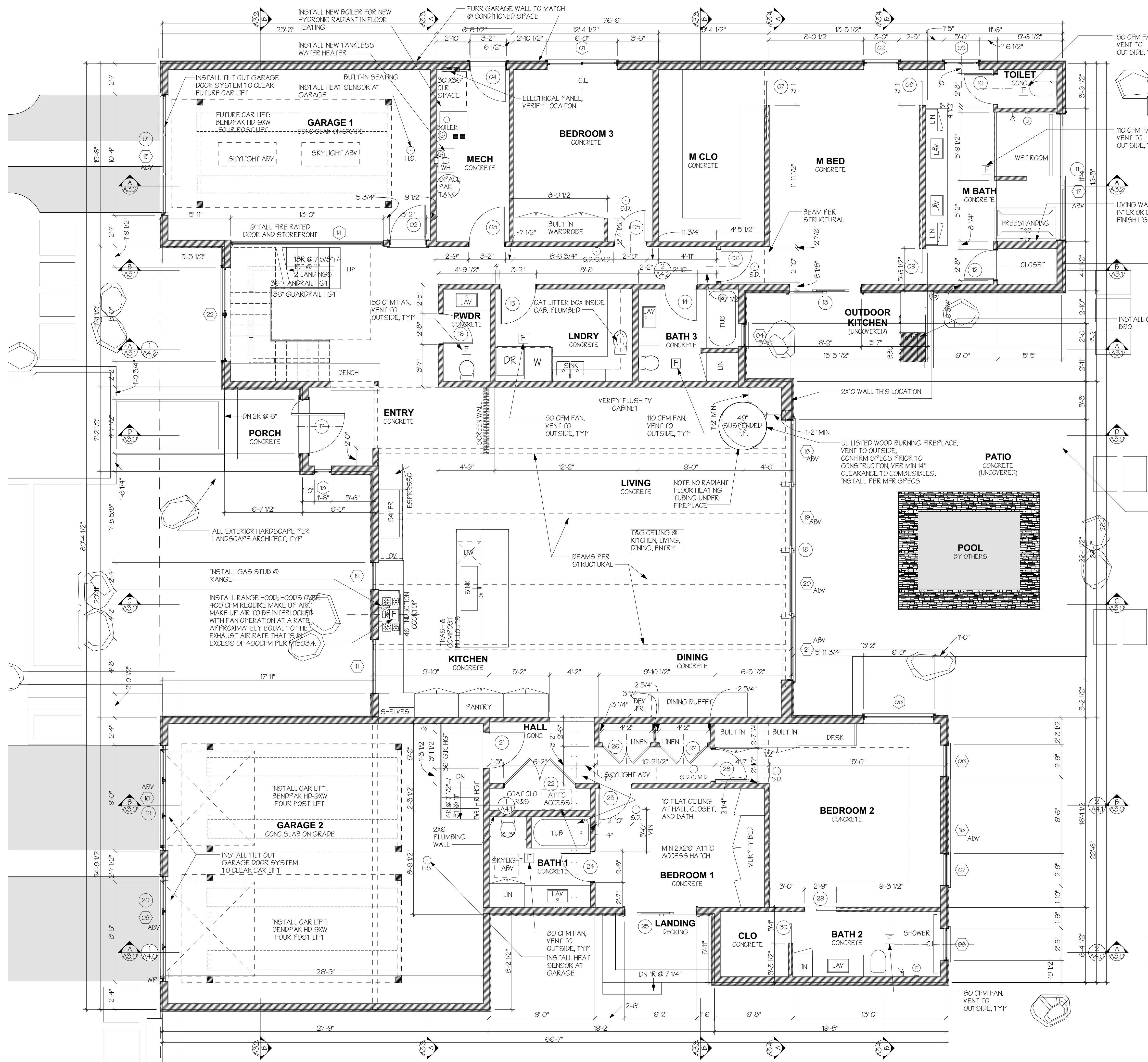
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MAIN FLOOR AND ROOF
 DEMOLITION PLAN



GAS WATER HEATER NOTES

1. INSTALL NEW TANKLESS GAS WATER HEATER; RHEEM HIGH EFFICIENCY 110 GPM INDOOR NATURAL GAS TANKLESS WATER HEATER WITH RECIRCULATION PUMP, #151GHSHIDLIN W/ 0.94 EFF (CONFIRM SELECTION W/ OWNER PRIOR TO PURCHASING)
2. PROVIDE SHUTOFF VALVE @ CONNECTION TO APPLIANCE
3. PER IRC M307.2 ANCHOR OR STRAP WATER HEATER APPLIANCE TO RESIST HORIZONTAL DISPLACEMENT CAUSED BY EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3RD AND LOWER 1/3RD OF THE APPLIANCE'S VERTICAL DIMENSIONS. AT THE LOWER POINT, THE STRAPPING SHALL MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE CONTROLS.

HVAC REQUIREMENTS

1. INSTALL SPACE PAK DUCTED HEAT PUMP SYSTEM WITH A MINIMUM UNOBSTRUCTED TOTAL AREA OF THE OUTSIDE AND RETURN AIR DUCTS OR OPENINGS TO HEAT PUMP SHALL NOT BE LESS THAN 6 SQUARE INCHES PER 1000 BTU/H OUTPUT RATING OR AS INDICATED BY THE CONDITIONS OF THE LISTING OF THE HEAT PUMP.
2. PER IRC 1505.4.3; PROVIDE WHOLE HOUSE VENTILATION SYSTEM INTEGRATED WITH THE SPACEPAK HVAC SYSTEM.
3. AN INTEGRATED WHOLE HOUSE VENTILATION SYSTEM SHALL OPERATE CONTINUOUSLY. PROVIDE CONTROLS TO ALLOW OPERATION OF VENTILATION SYSTEM WITHOUT NEED TO OPERATE HEATING SYSTEM. A LABEL SHALL BE AFFIXED TO THE CONTROLS THAT READS "WHOLE HOUSE VENTILATION (SEE OPERATING INSTRUCTIONS)".
4. CONTINUOUS WHOLE HOUSE MECHANICAL VENTILATION MINIMUM AIRFLOW RATE OF 90 CFM. REFER TO IRC TABLE M505.4.3.

VENTILATION REQUIREMENTS

VENTILATION NOTES:
ERV WHOLE HOUSE VENTILATION TO BE INTEGRATED INTO SPACEPAK COOLING SYSTEM
VENTILATION SYSTEM TO MEET IRC M505.4.3.
PROVIDE CONTINUOUS AIRFLOW OF 75 CFM.

R403.1.3 CONTINUOUSLY BURNING PILOT LIGHTS:
THE NATURAL GAS SYSTEMS AND EQUIPMENT LISTED BELOW ARE NOT PERMITTED TO BE EQUIPPED WITH CONTINUOUSLY BURNING PILOT LIGHTS

1. FAN-TYPE CENTRAL FURNACES
2. HOUSEHOLD COOKING APPLIANCES
EXCEPTION: HOUSEHOLD COOKING APPLIANCES W/OUT ELECTRICAL SUPPLY VOLTAGE CONNECTED AND IN WHICH EACH PILOT LIGHT CONSUMES LESS THAN 150 BTU/H
3. POOL HEATERS
4. SPA HEATERS
5. FIREPLACES
EXCEPTION: ANY FIREPLACE WITH ON-DEMAND, INTERMITTENT OR INTERRUPTED IGNITION (AS DEFINED IN ANSI Z2120) IS NOT CONSIDERED CONTINUOUS.

GROSS FLOOR AREA (MEASURED FROM OUTSIDE OF EXTERIOR WALLS)

MAIN FLOOR (INCL STAIR)	3285.4 SF
MAIN FLOOR 12'-16" MULTIPLIER:	1056.2 SF X 5 = 5281.1 SF
GARAGE 1	345.2 SF
GARAGE 1 12'-16" MULTIPLIER:	148.6 SF X 5 = 743.3 SF
GARAGE 2	676.1 SF
GARAGE 2 12'-16" MULTIPLIER:	676.1 SF X 5 = 3381.1 SF
UPPER FLOOR (NOT INCL STAIR)	270.4 SF
ALLOWED GROSS FLOOR AREA = 14078 SF X 40% = 5631.2 SF	
TOTAL GROSS FLOOR AREA	5517.6 SF

CONDITIONED FLOOR AREA (MEASURED FROM INSIDE OF EXTERIOR WALLS)

MAIN FLOOR (INCL STAIR)	3120.2 SF
UPPER FLOOR (NOT INCL STAIR)	244.5 SF
TOTAL CONDITIONED AREA	3,364.7 SF

NOTES:

1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO.
2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO.
3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION.
4. INSTALL SMOKE DETECTORS (S.D.) AT LOCATIONS SHOWN. HARDWARE AND INTERCONNECT DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY BACKUP AS REQUIRED.
5. INSTALL CARBON MONOXIDE ALARMS (C.M.D.) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. THE ALARM AND SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH IRC R315.3 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. SMOKE DETECTORS (S.D.) AND CARBON MONOXIDE ALARMS (C.M.D.) TO BE INSTALLED 3'-0" MINIMUM FROM BATHROOM DOORS.

MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
NEW WALLS

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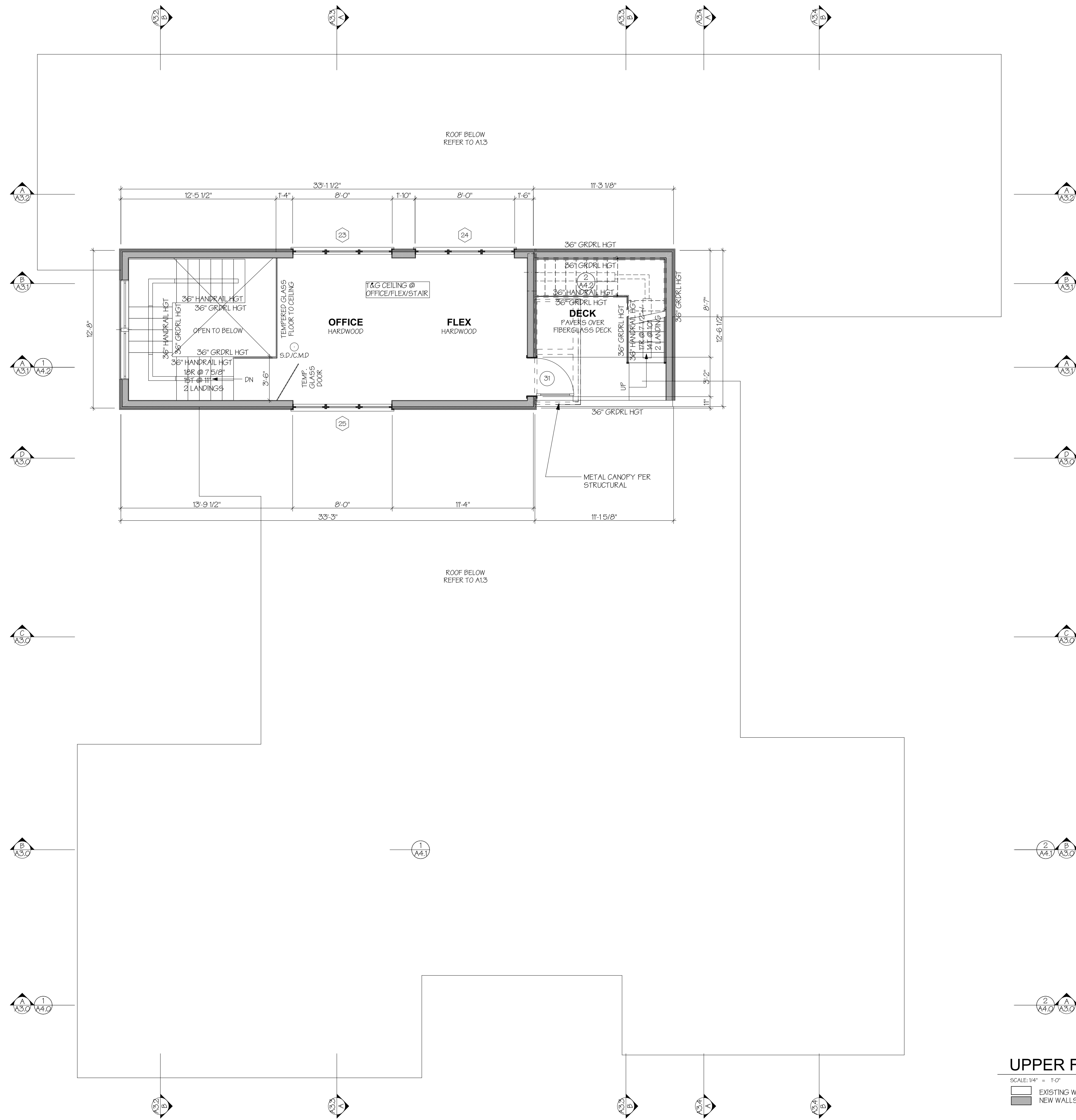
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MAIN FLOOR PLAN



- NOTES:
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UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS
NEW WALLS

N

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 MERCER ISLAND WA 98040



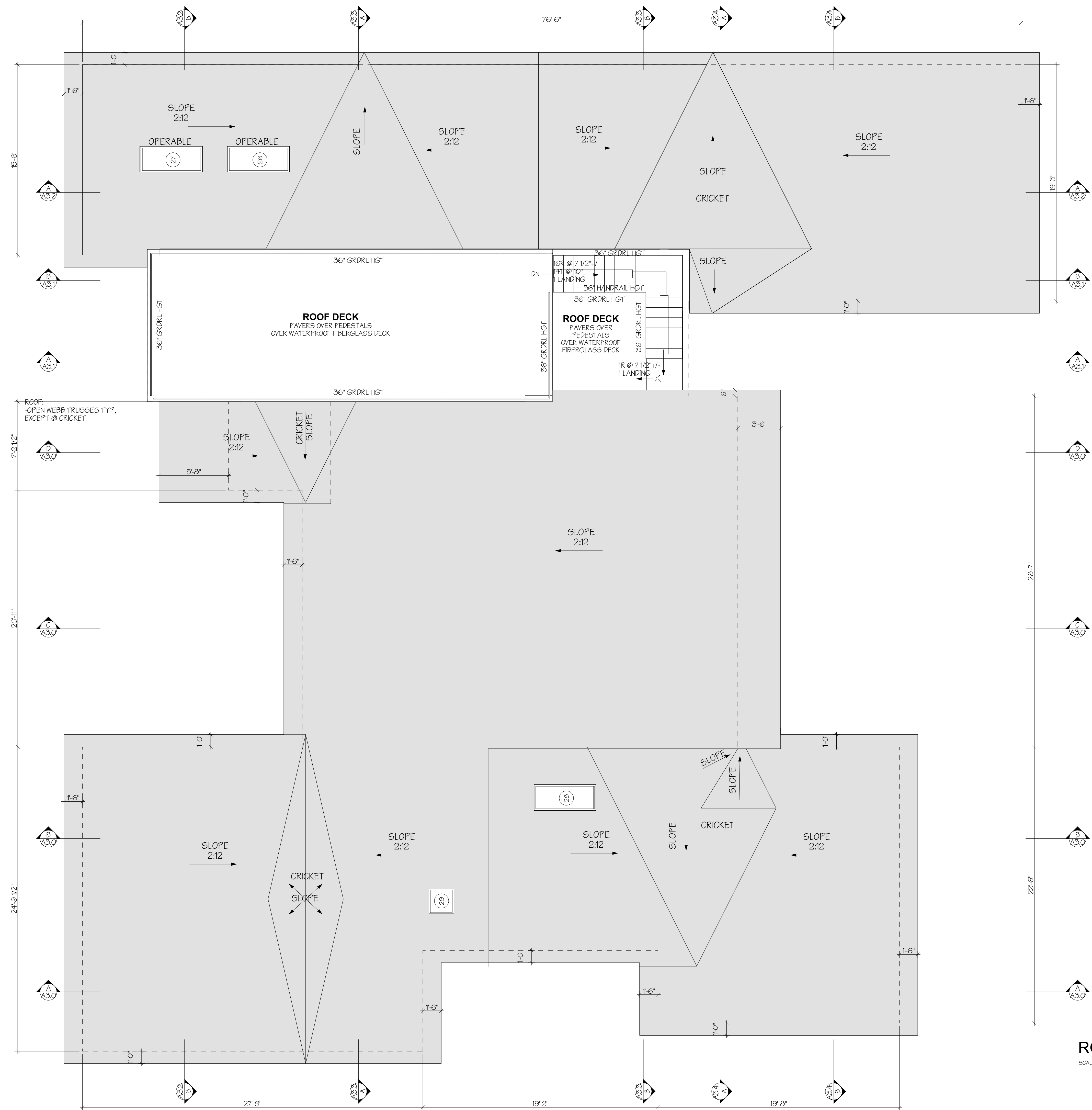
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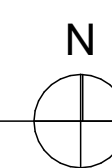
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UPPER FLOOR PLAN



ROOF PLAN

SCALE: 1/4" = 1'-0"



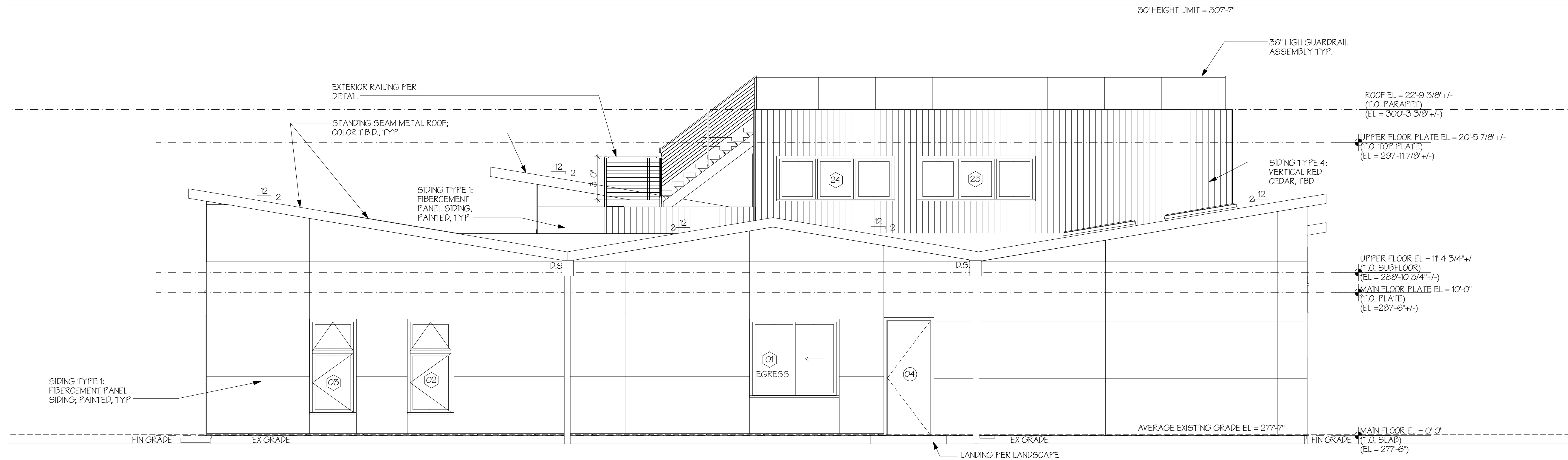
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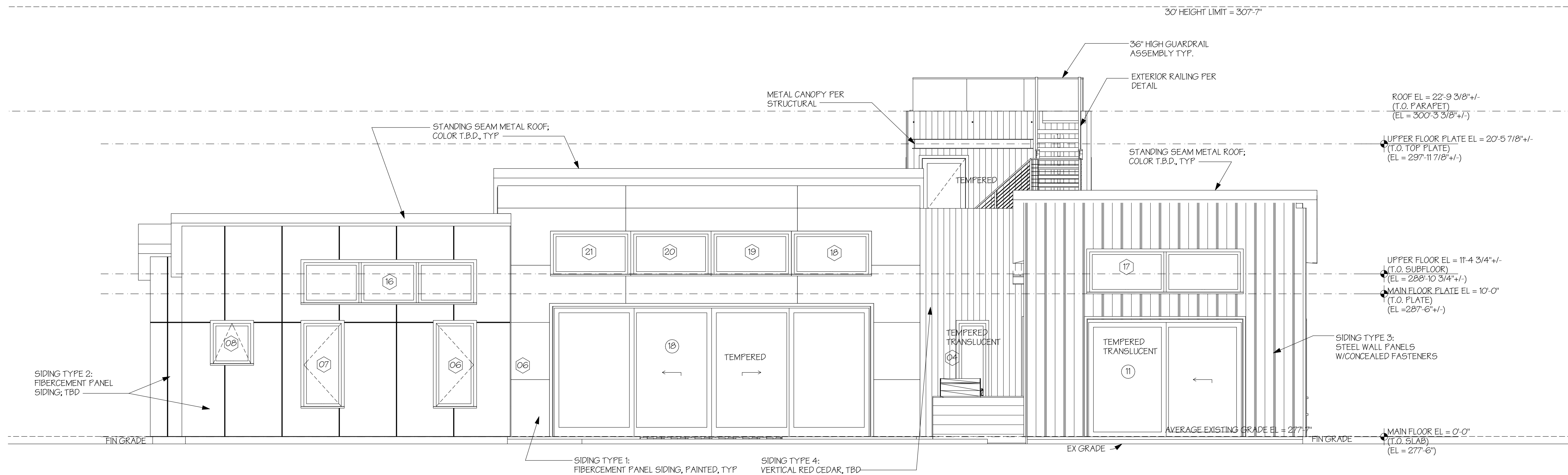
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ROOF PLAN



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

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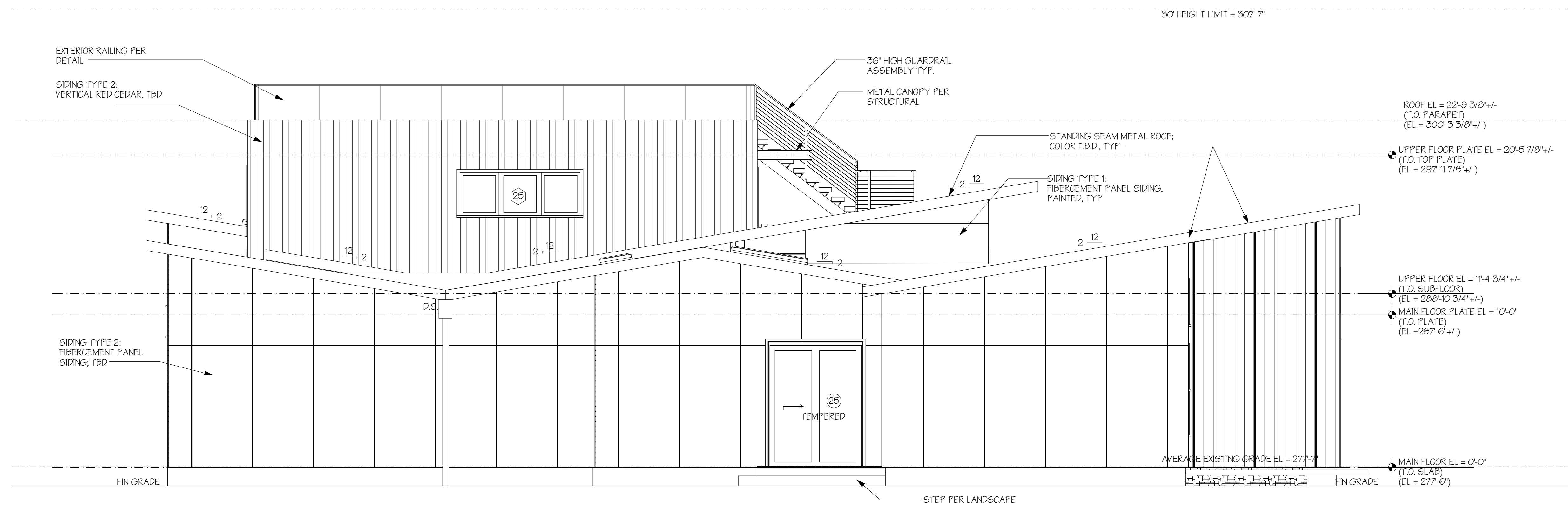
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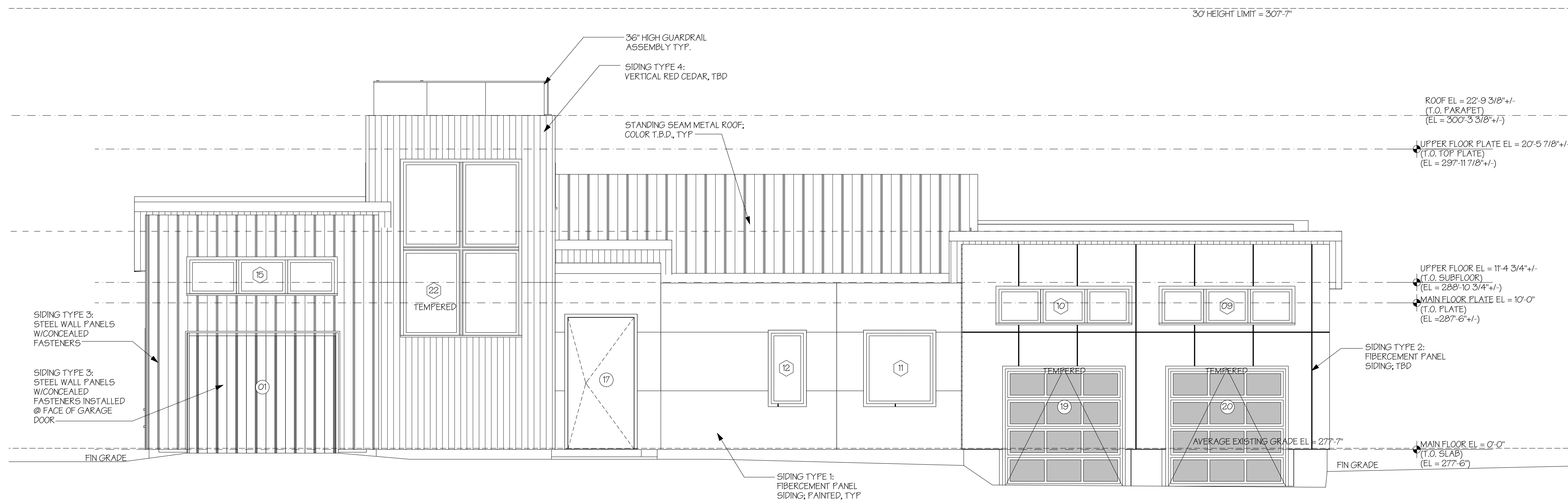
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EXTERIOR ELEVATIONS



SOUTH ELEVATION

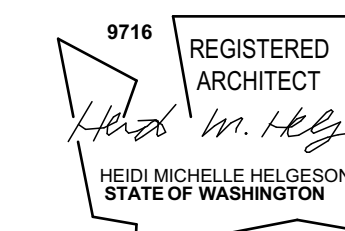
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WEST ELEVATION

SCALE: 1/4" = 1'-0"

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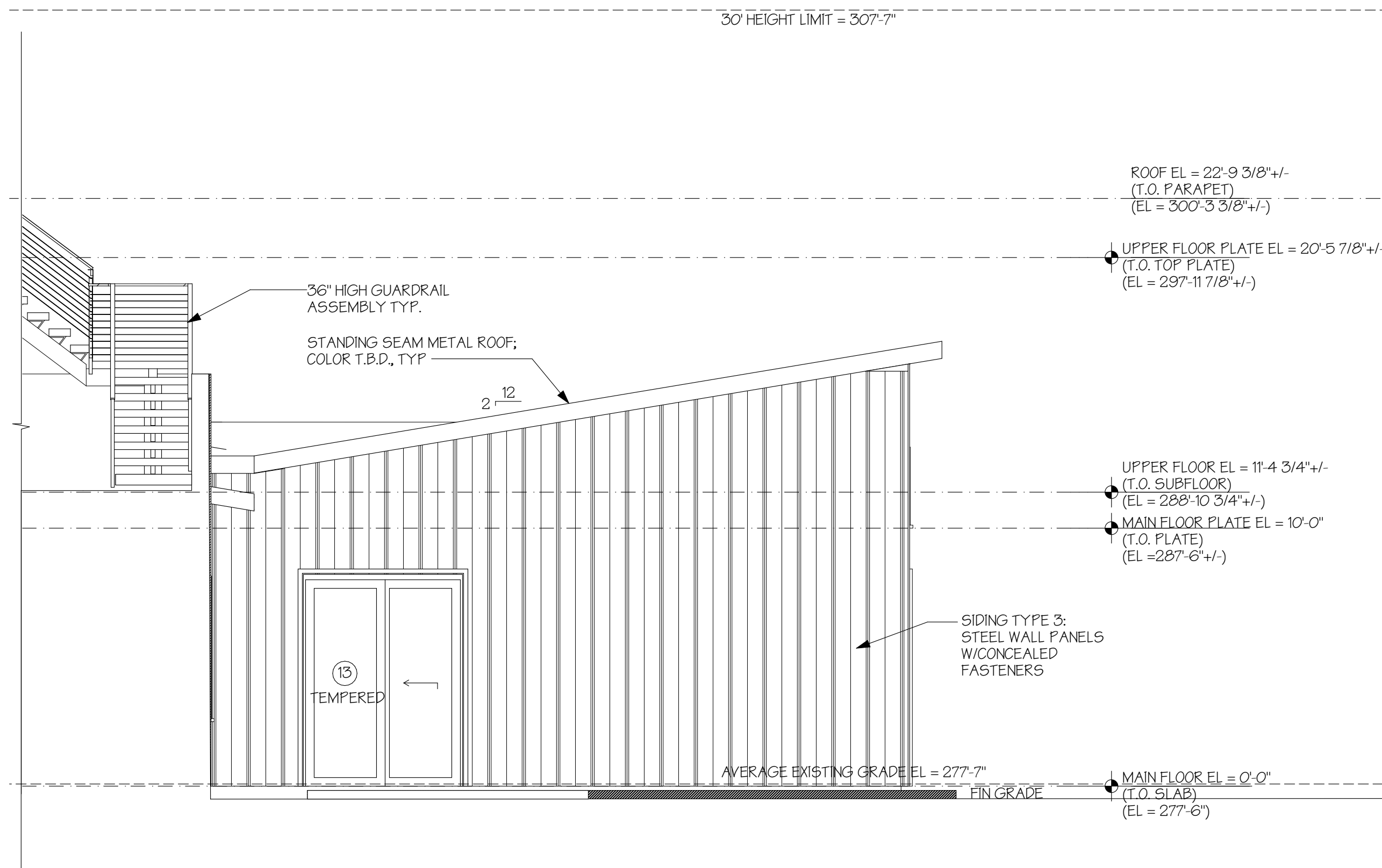
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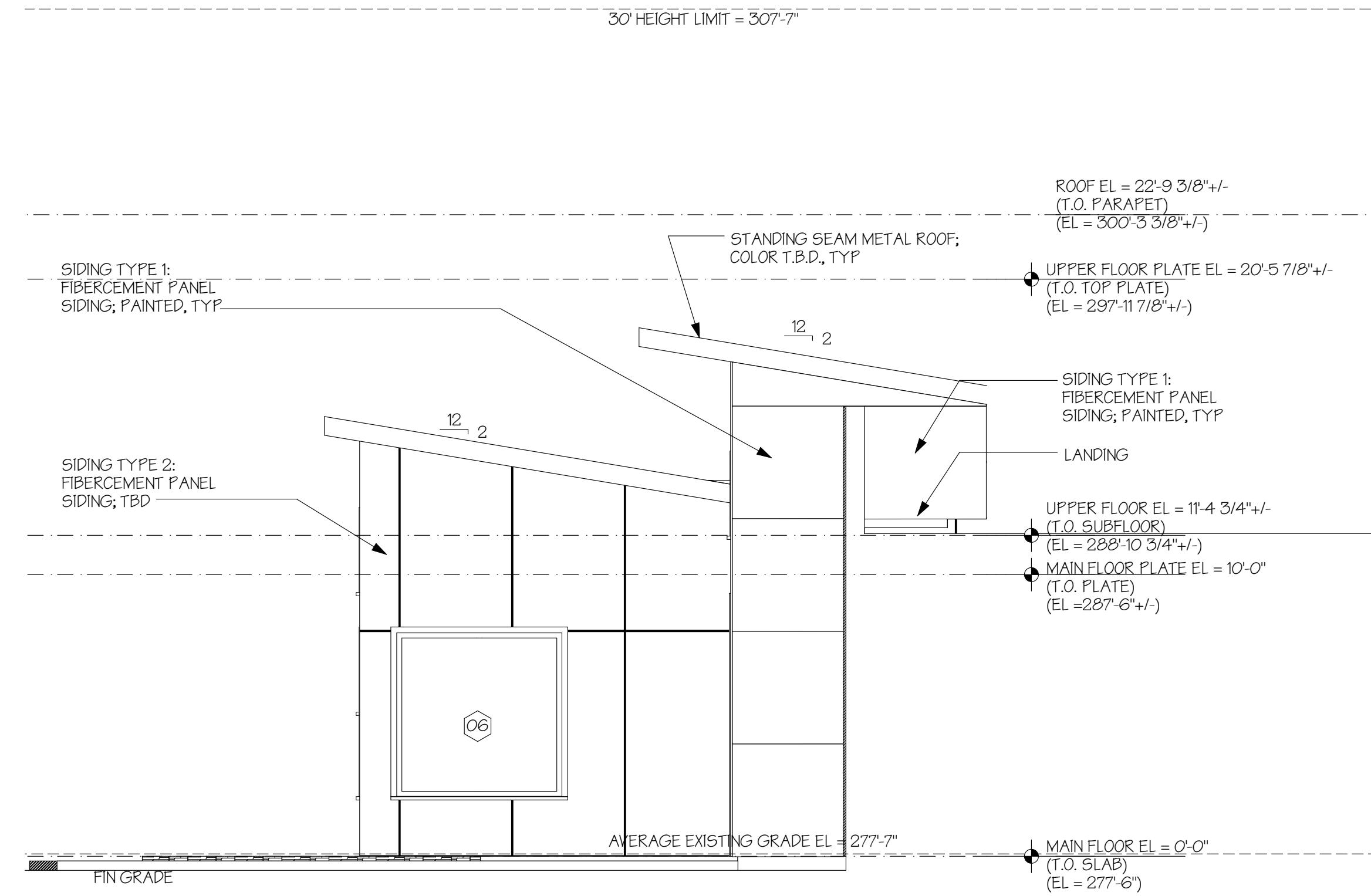
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EXTERIOR ELEVATIONS



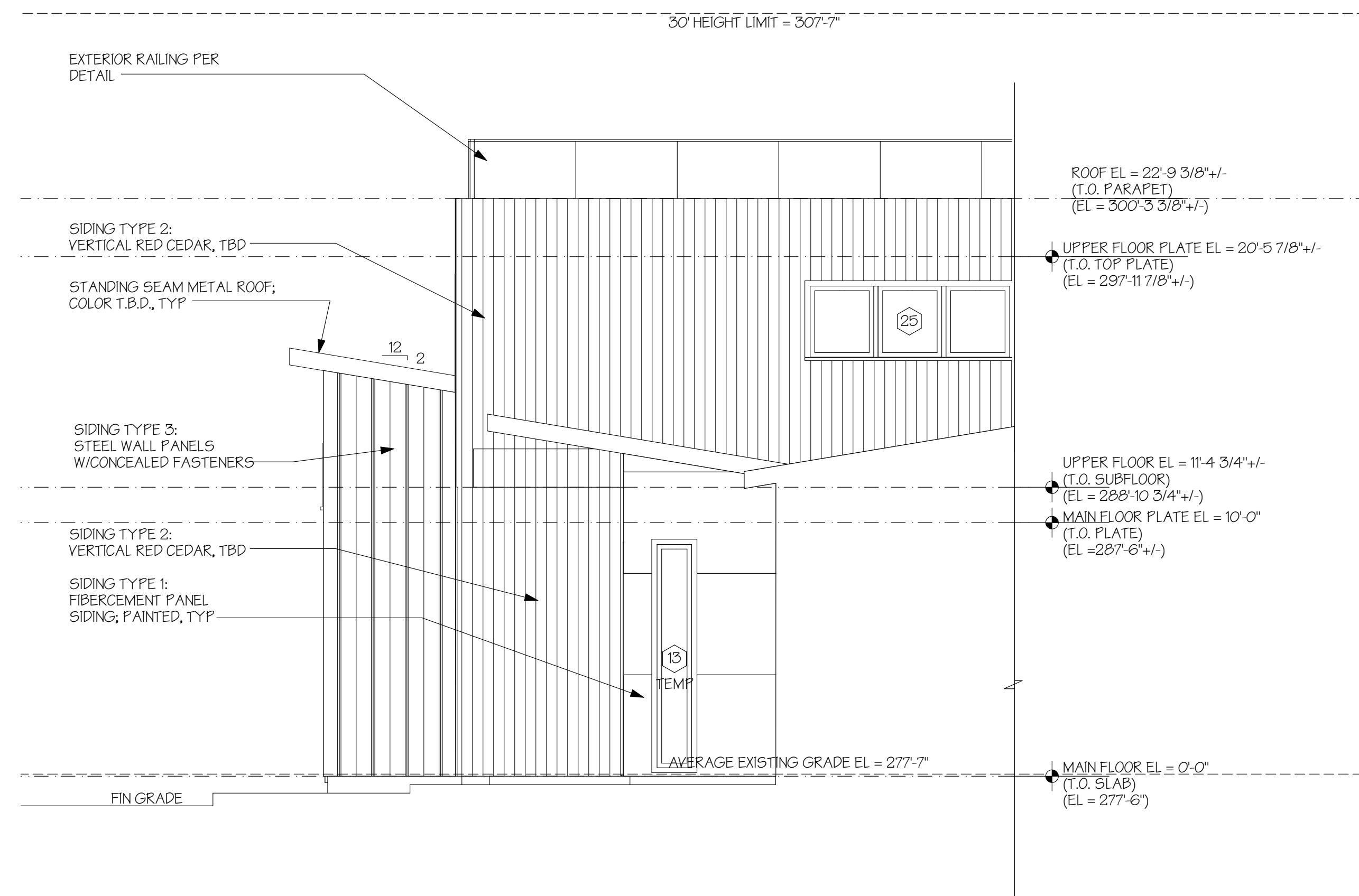
NORTH ELEVATION @ COURTYARD

SCALE: 1/4" = 1'-0"



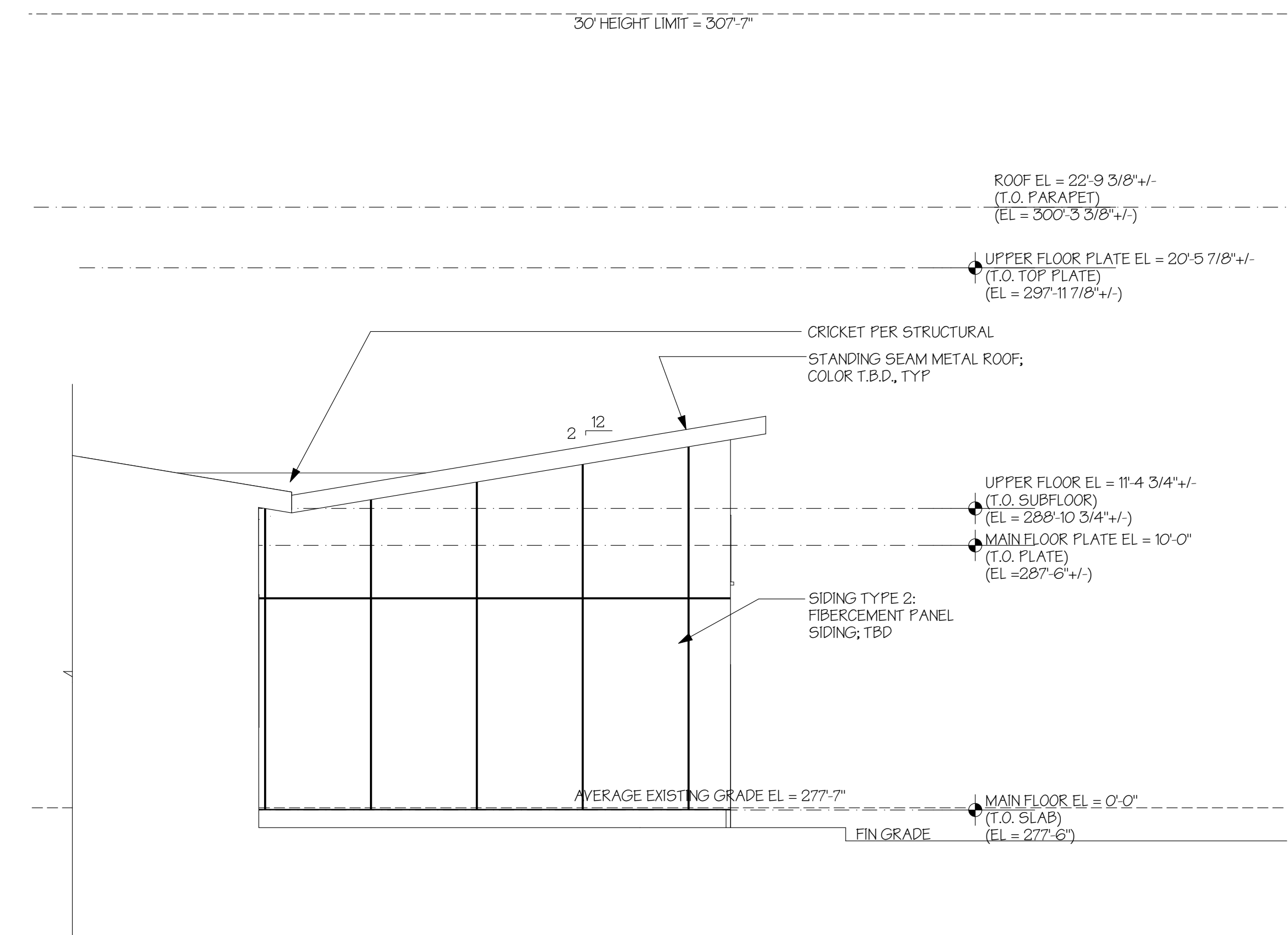
SOUTH ELEVATION @ COURTYARD

SCALE: 1/4" = 1'-0"



NORTH ELEVATION @ ENTRY

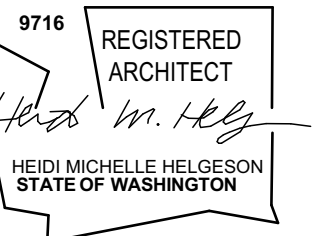
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SOUTH ELEVATION @ ENTRY

SCALE: 1/4" = 1'-0"

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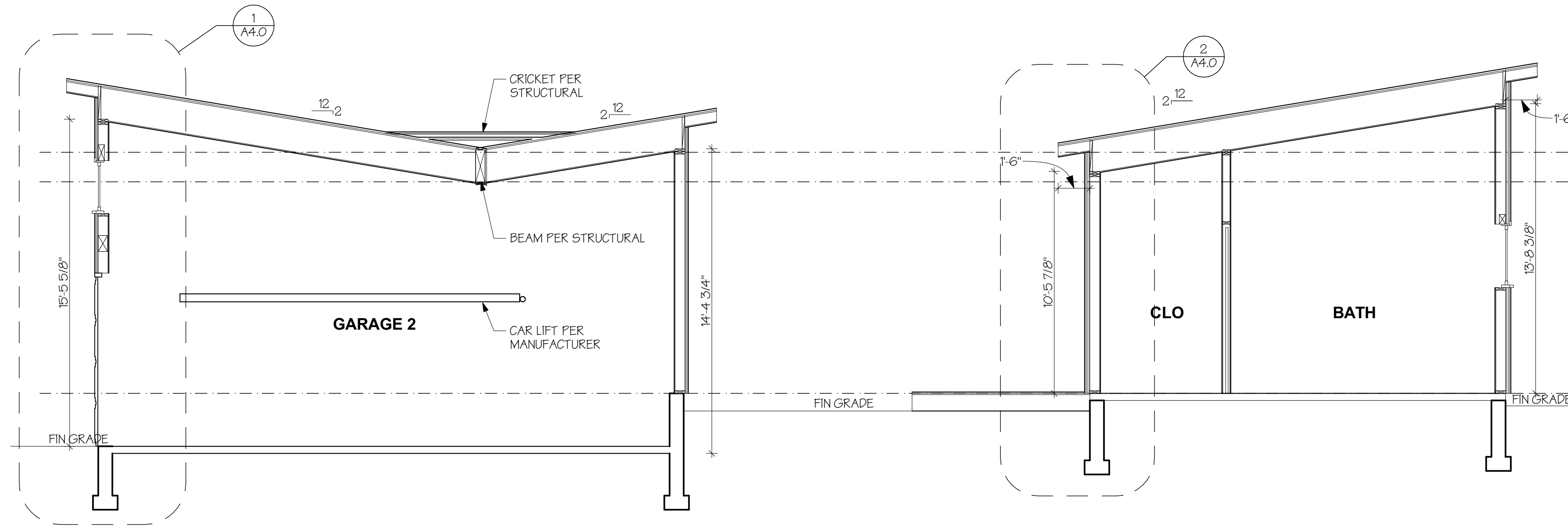
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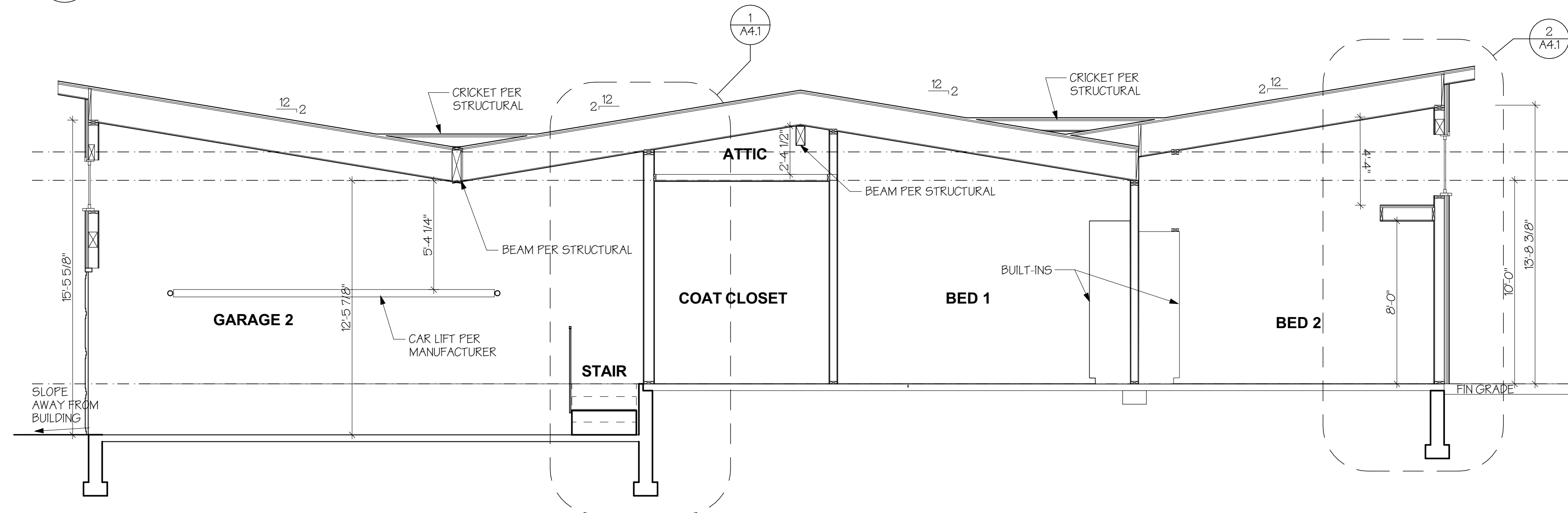
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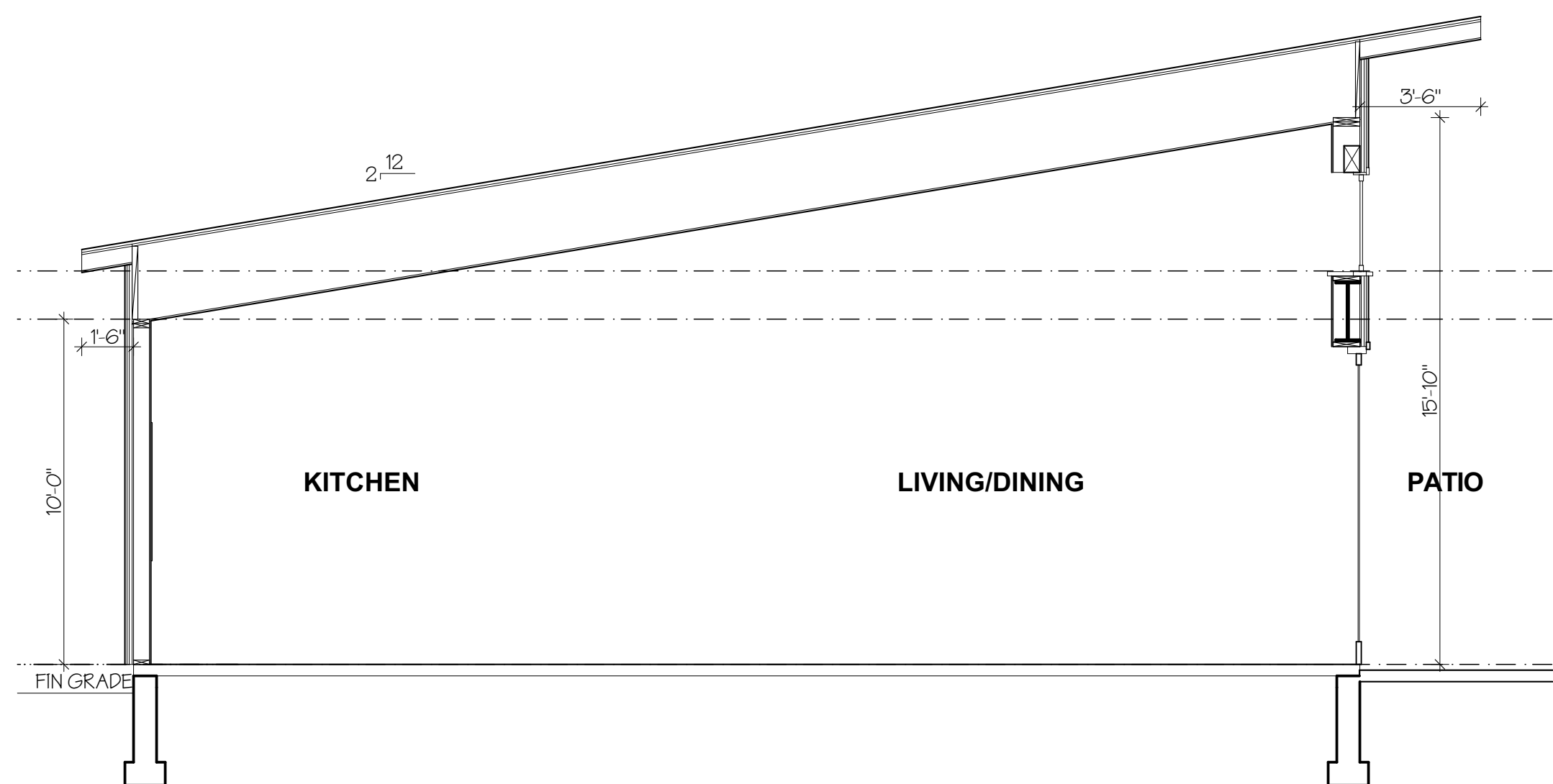
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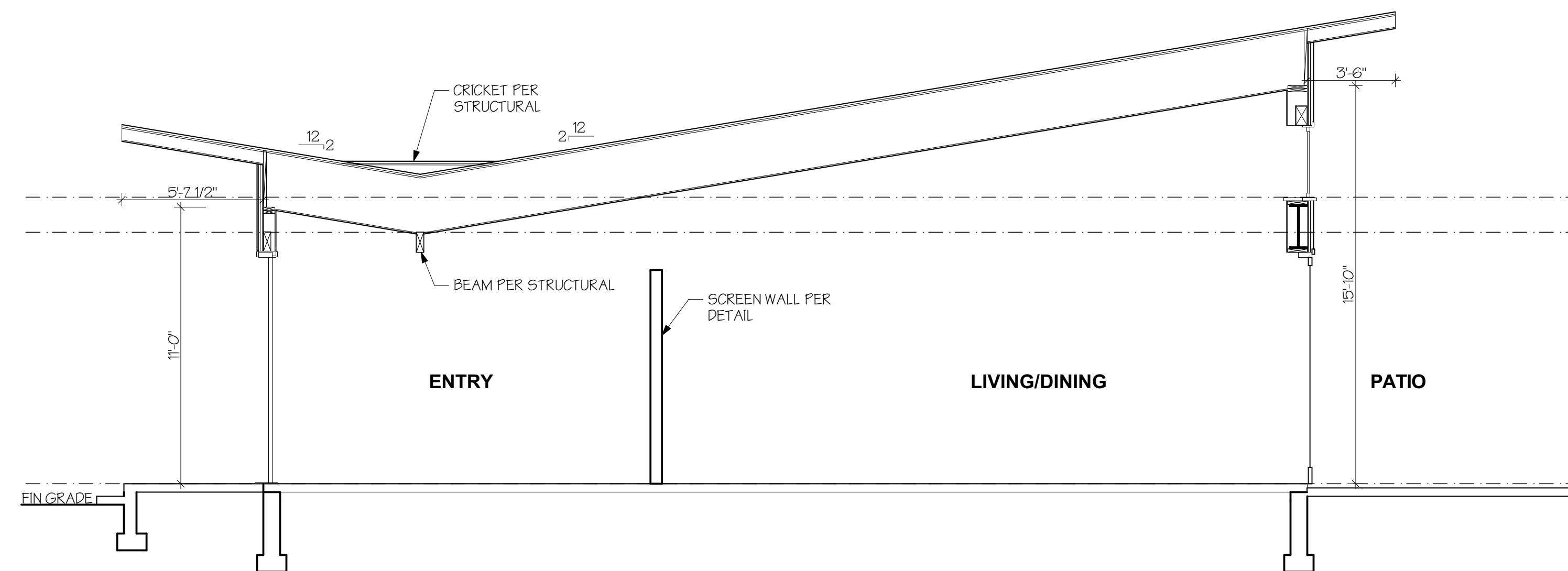
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B BUILDING SECTION
SCALE: 1/4" = 1'-0"

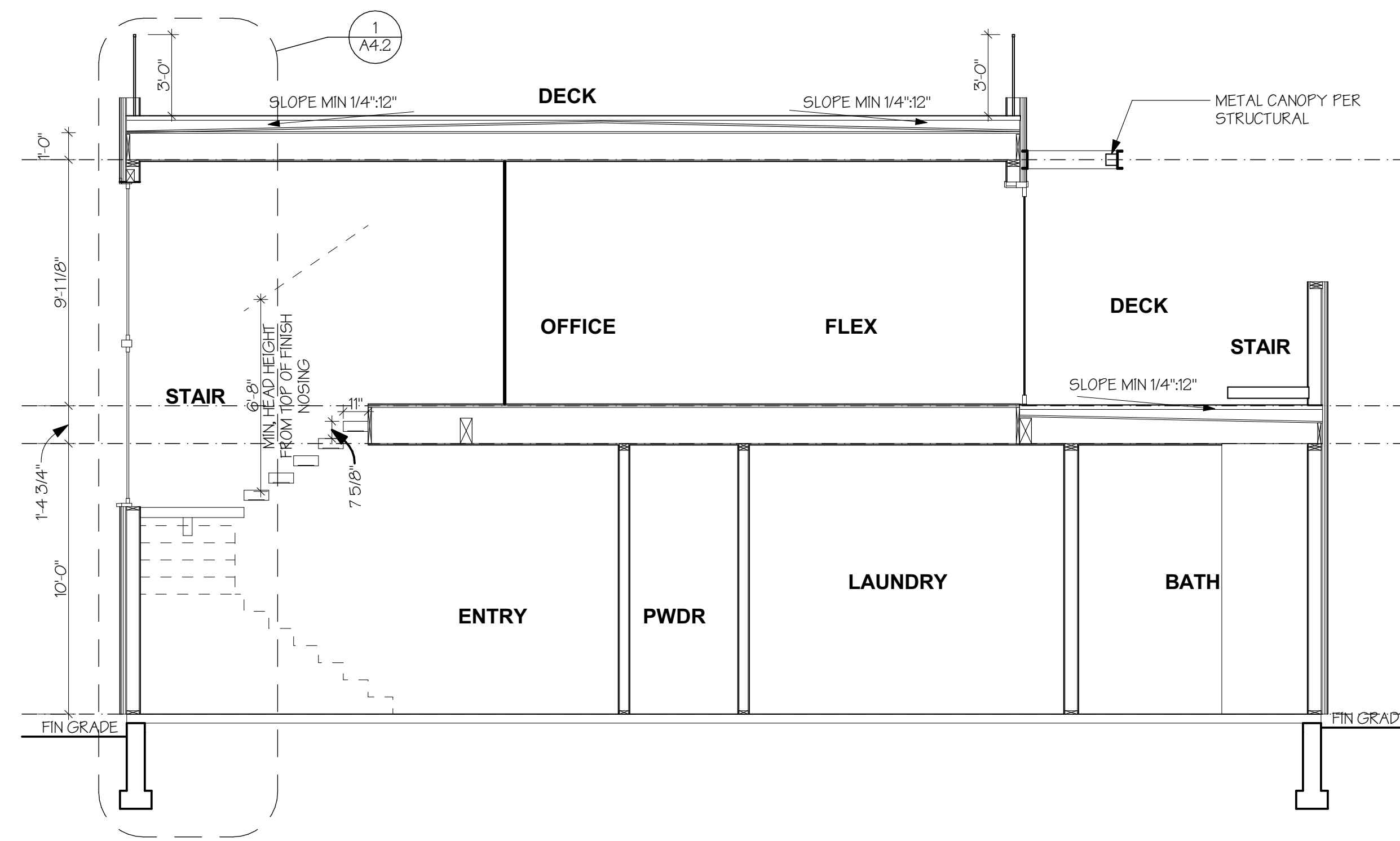


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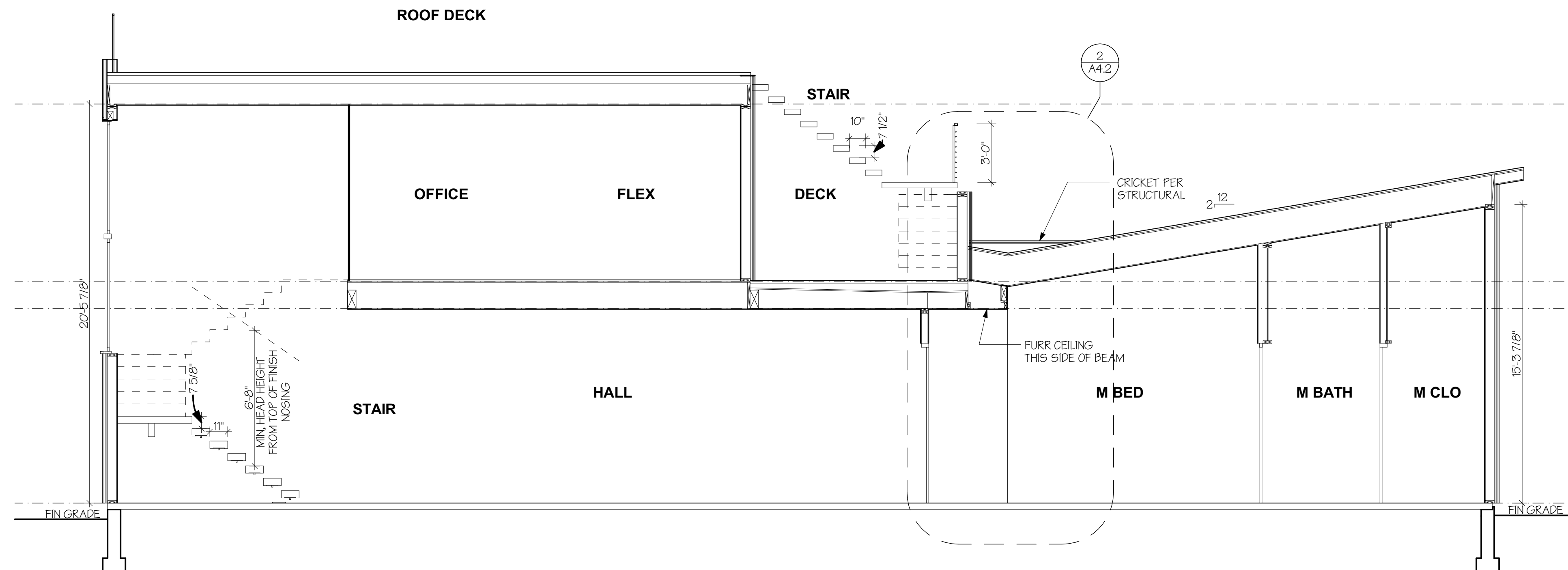


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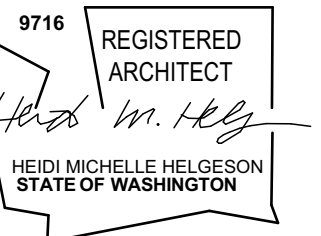


A BUILDING SECTION
SCALE: 1/4" = 1'-0"



B BUILDING SECTION
SCALE: 1/4" = 1'-0"

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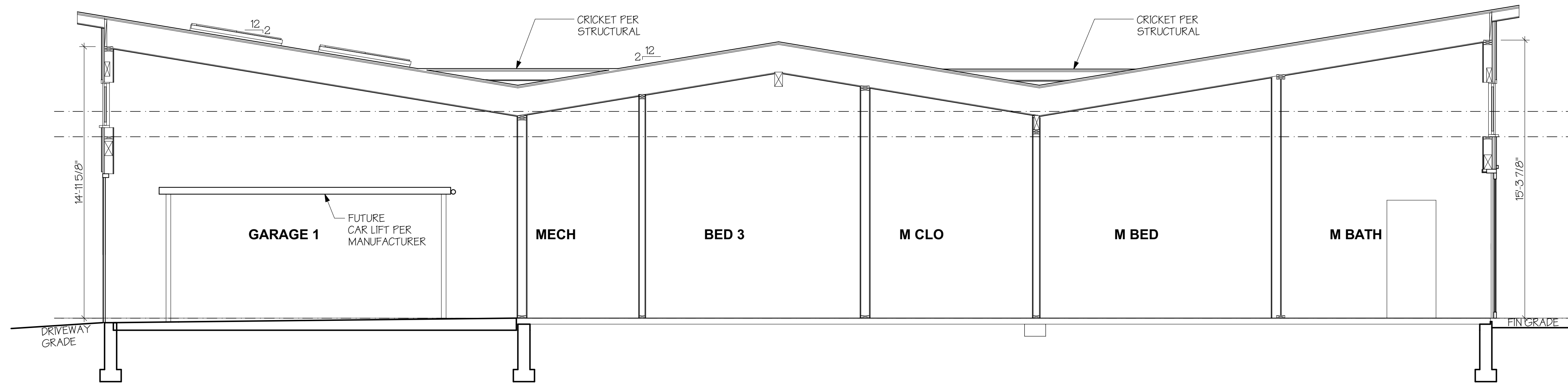
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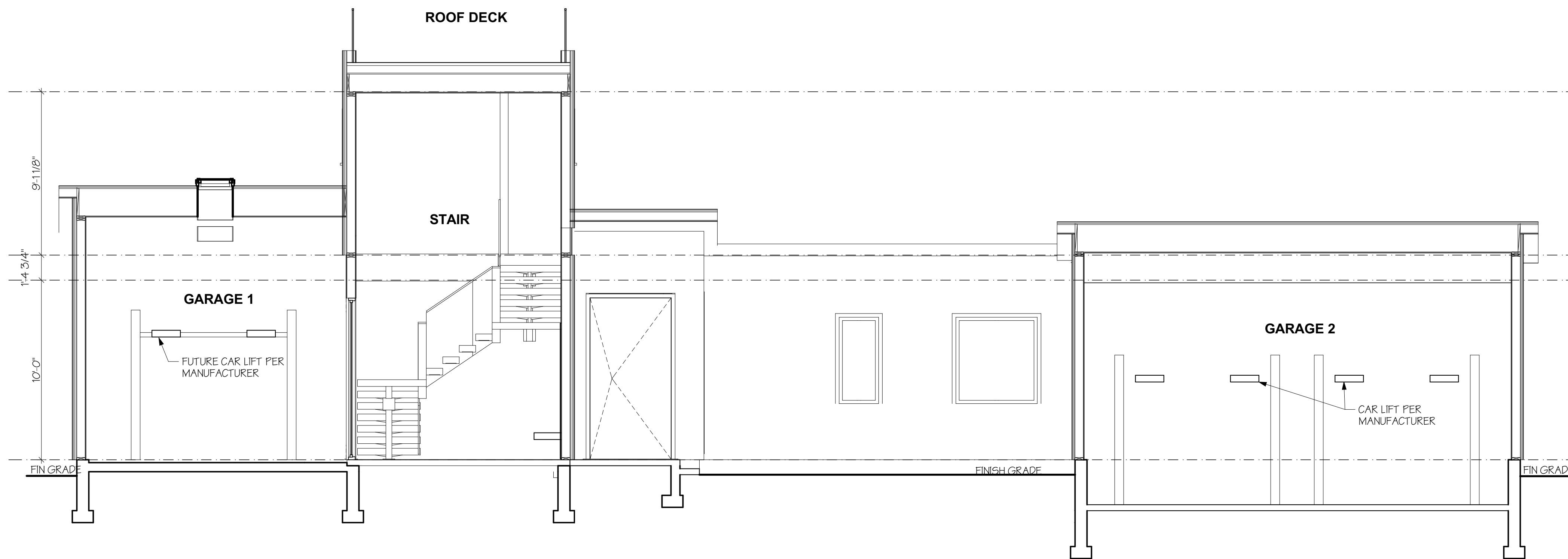
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BUILDING SECTIONS



A BUILDING SECTION
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B BUILDING SECTION
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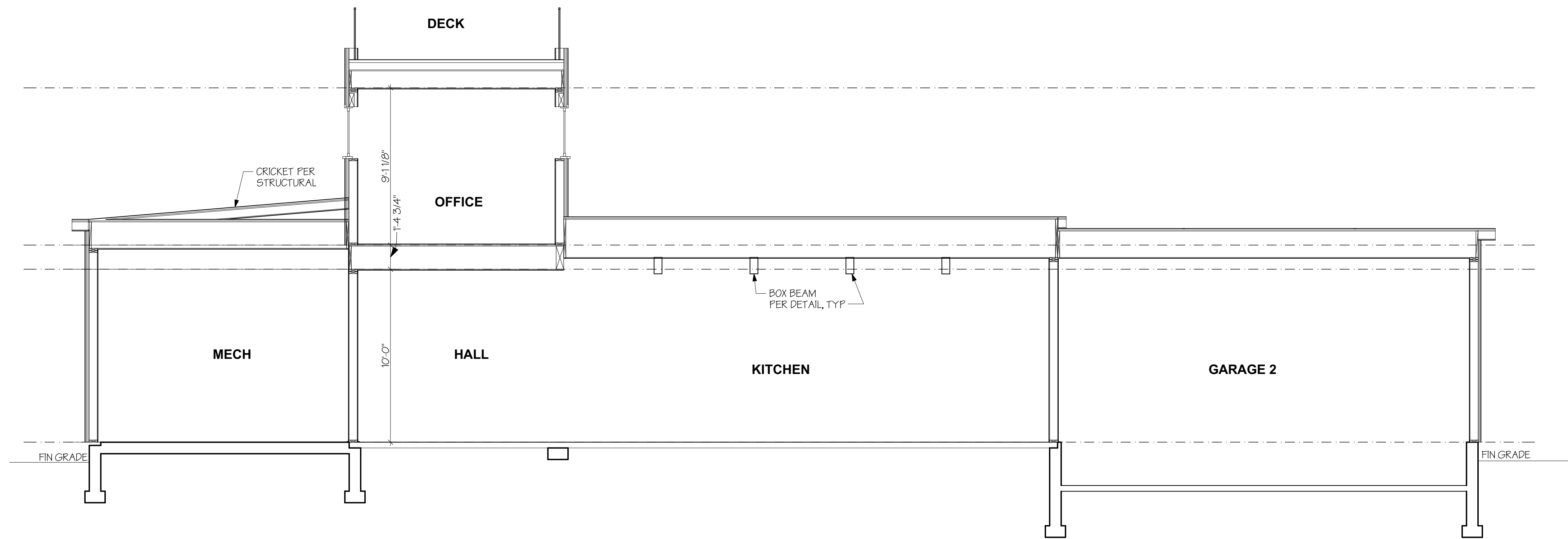
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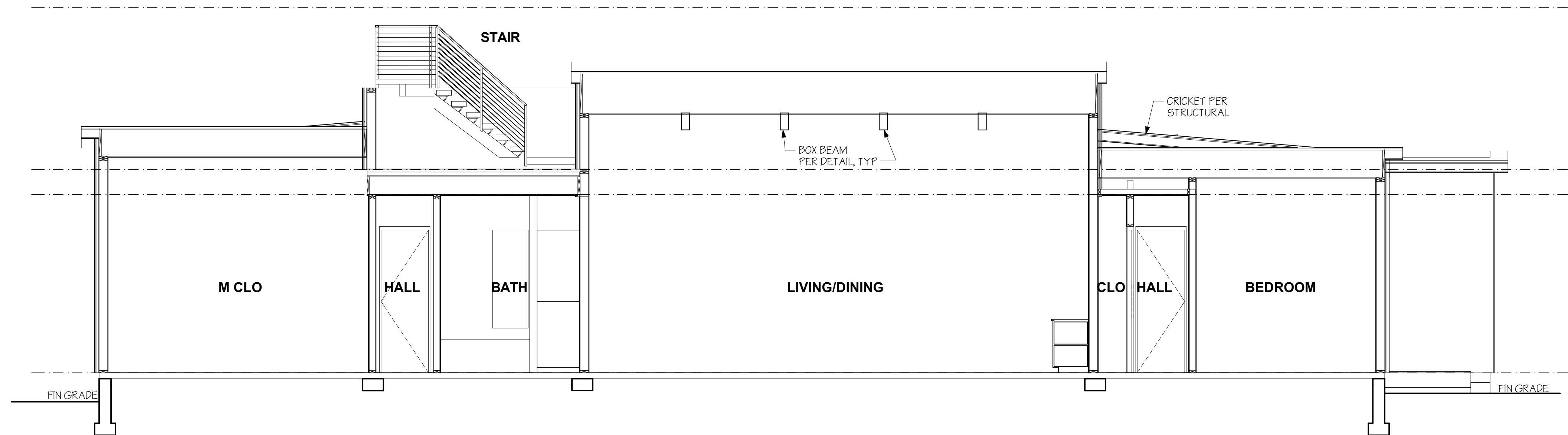
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BUILDING SECTIONS



A BUILDING SECTION
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B BUILDING SECTION
SCALE: 1/4" = 1'-0"

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9716 REGISTERED ARCHITECT
Heidi Michelle Helgeson
HEIDI MICHELLE HELGESON
STATE OF WASHINGTON



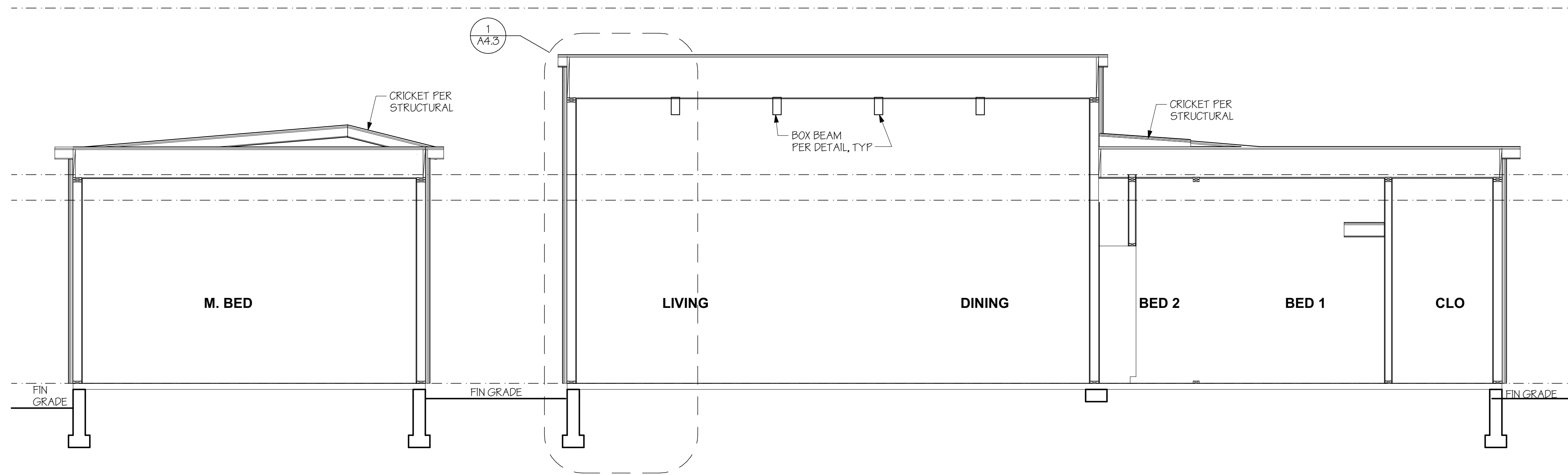
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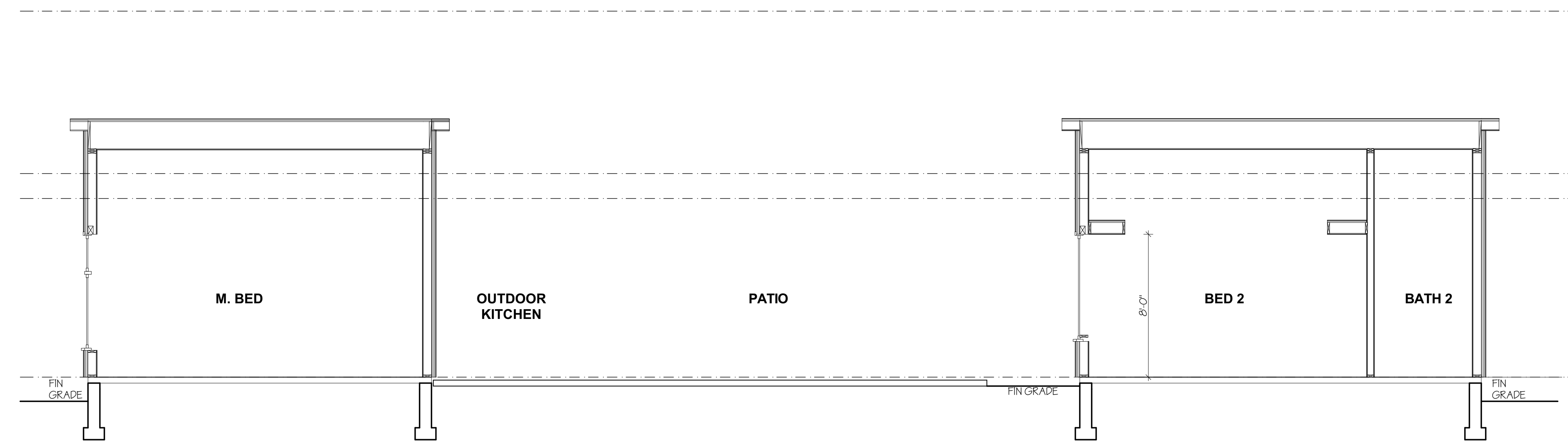
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BUILDING SECTIONS



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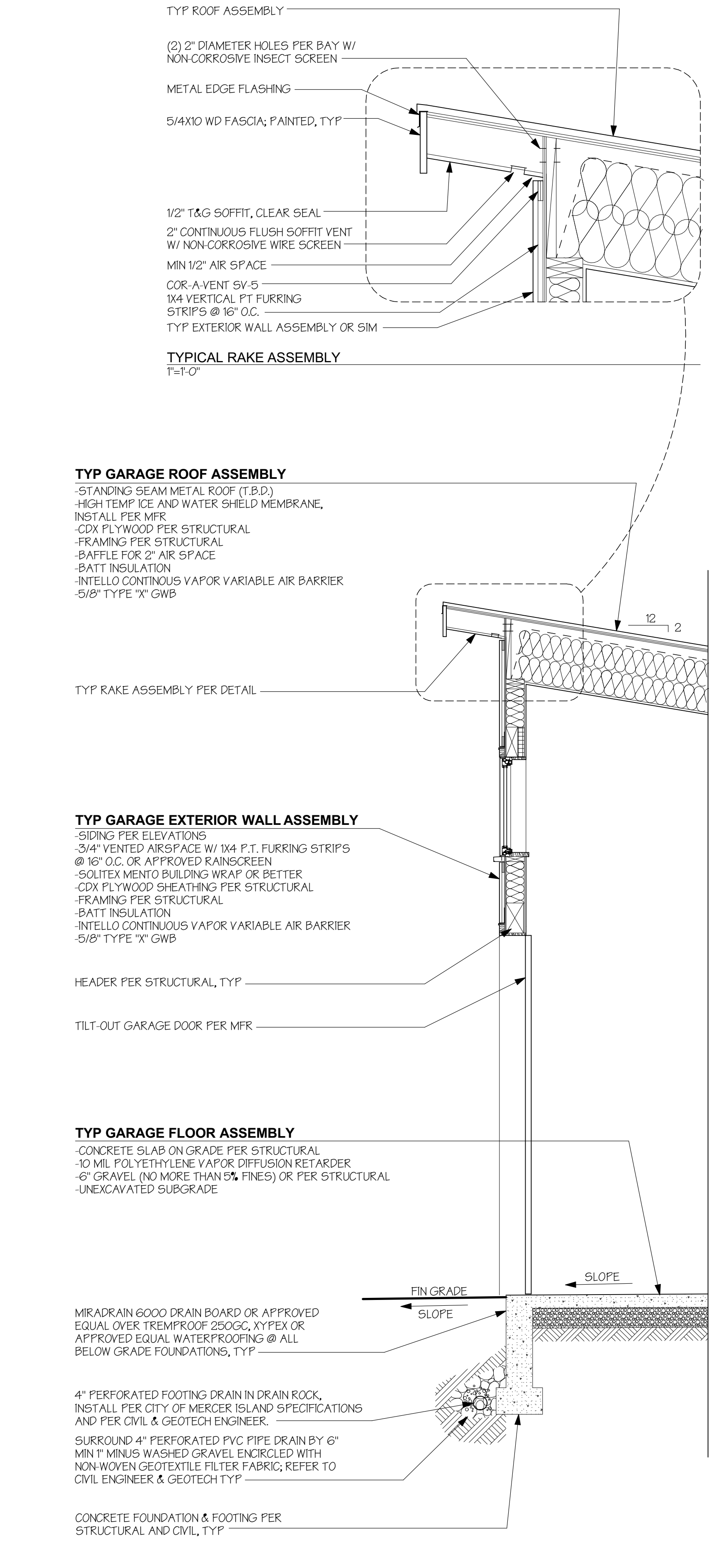
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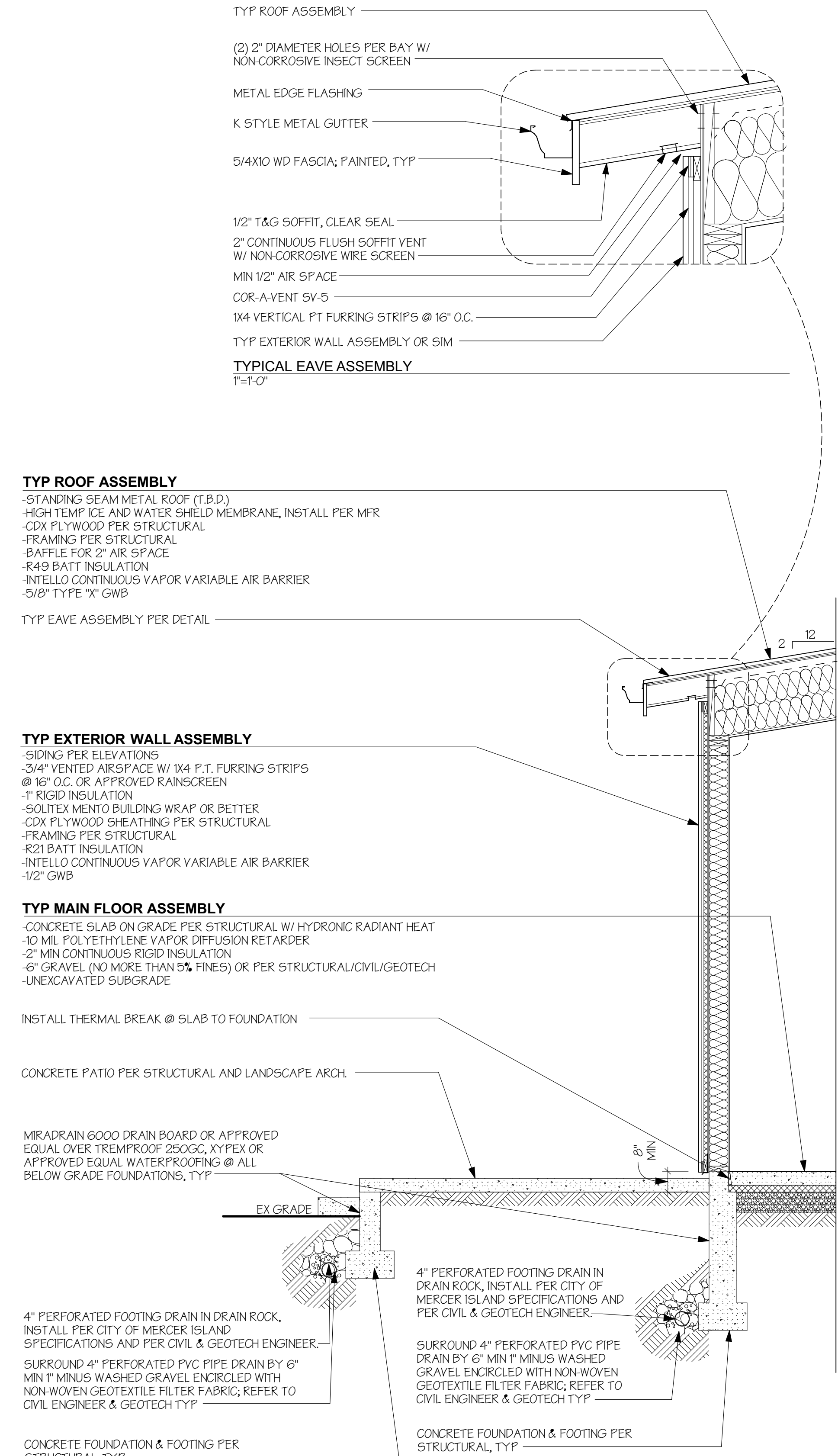
DATE: 4/12/2022
REV1: 5/13/2022

PERMIT SET

BUILDING SECTIONS



1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"

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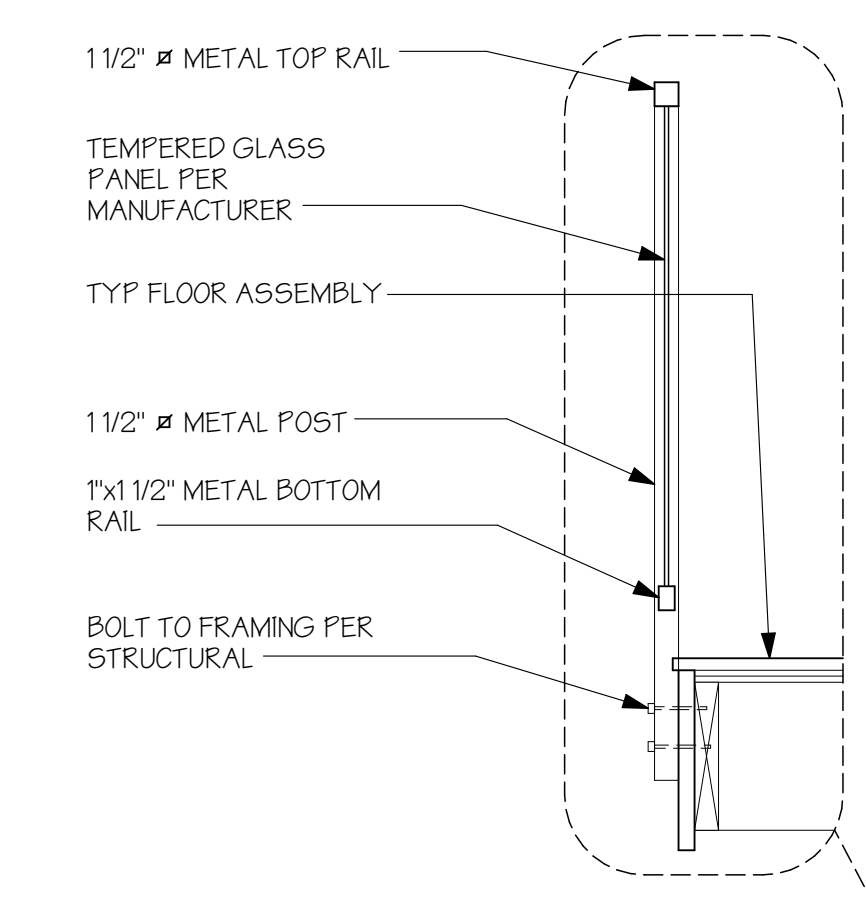
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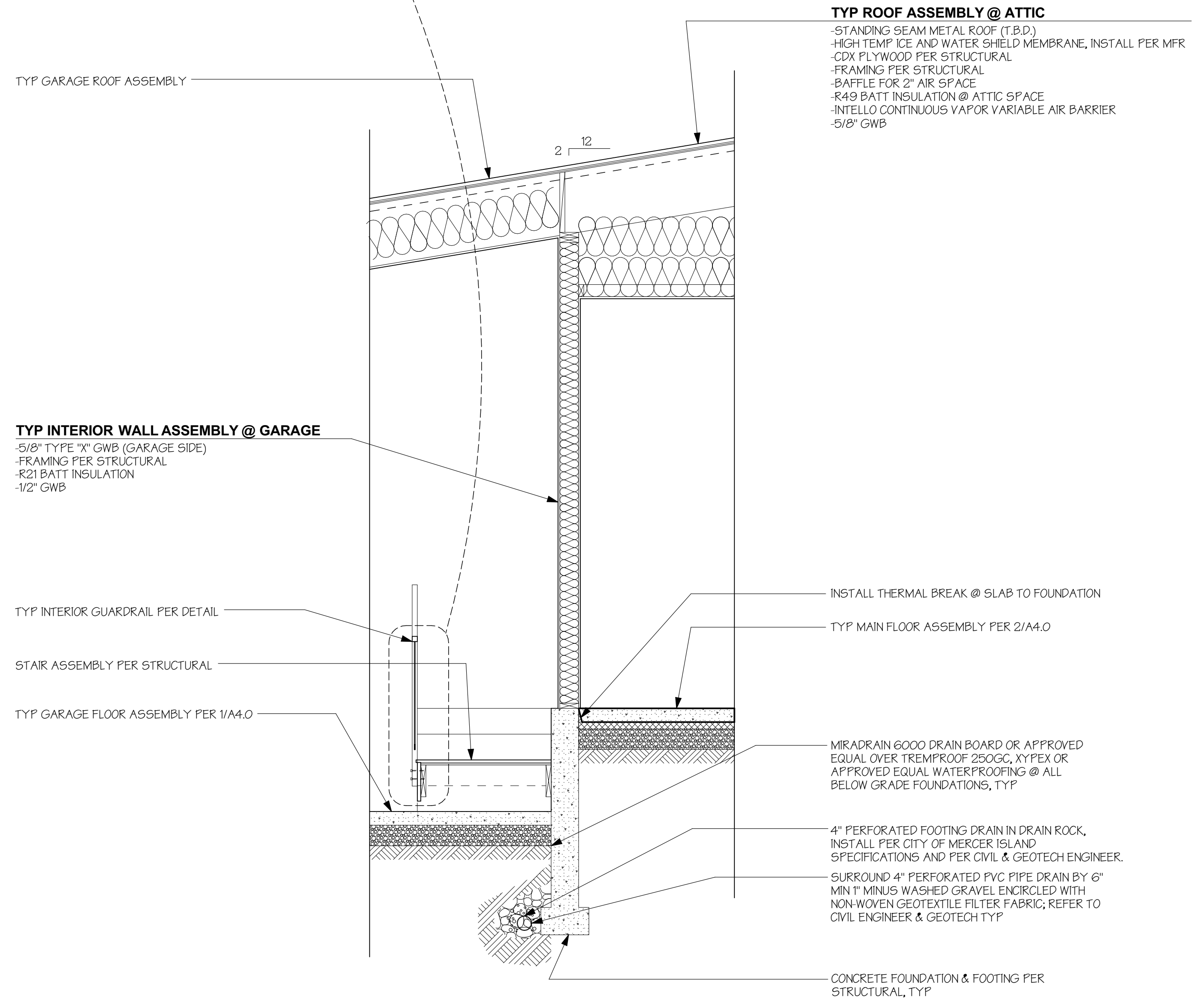
PERMIT SET

WALL SECTIONS

A4.0

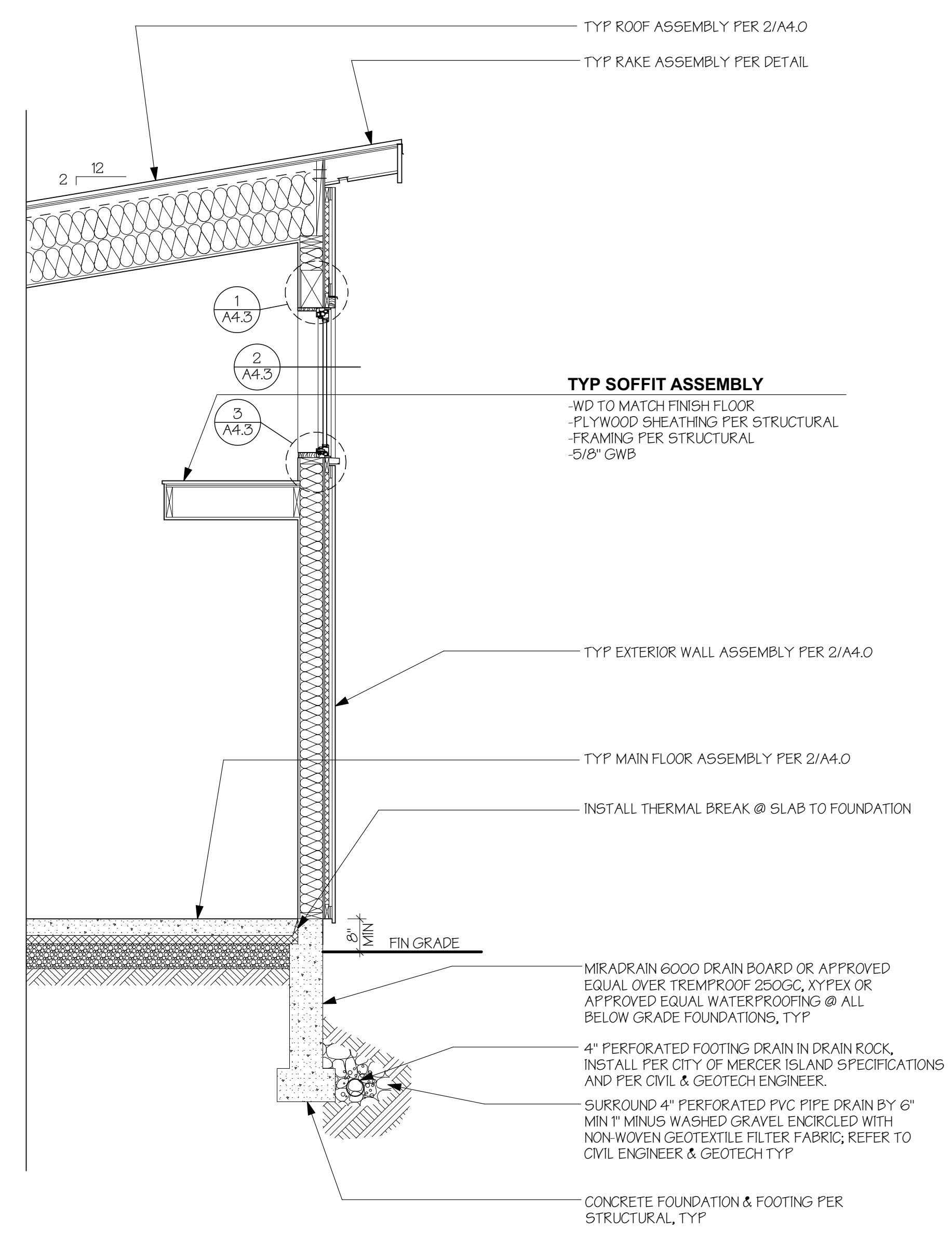


TYP INTERIOR GUARDRAIL
 1"=1'-0" *ALL METAL TO BE BLACK POWDER COATED



TYP ROOF ASSEMBLY @ ATTIC
 -STANDING SEAM METAL ROOF (T.B.D.)
 -HIGH TEMP ICE AND WATER SHIELD MEMBRANE, INSTALL PER MFR
 -CDX PLYWOOD PER STRUCTURAL
 -FRAMING PER STRUCTURAL
 -BAFFLE FOR 2" AIR SPACE
 -R49 BATT INSULATION @ ATTIC SPACE
 -INTELLO CONTINUOUS VAPOR VARIABLE AIR BARRIER
 -5/8" GWB

TYP INTERIOR WALL ASSEMBLY @ GARAGE
 -5/8" TYPE "X" GWB (GARAGE SIDE)
 -FRAMING PER STRUCTURAL
 -R21 BATT INSULATION
 -1/2" GWB



TYP SOFFIT ASSEMBLY
 -WD TO MATCH FINISH FLOOR
 -PLYWOOD SHEATHING PER STRUCTURAL
 -FRAMING PER STRUCTURAL
 -5/8" GWB

2 WALL SECTION
 SCALE: 1/2" = 1'-0"

1 WALL SECTION
 SCALE: 1/2" = 1'-0"

TYP UNVENTED WATERPROOF DECK ASSEMBLY

- CONCRETE PAVERS
- APPIAN PEDESTAL SYSTEM
- FIBERGLASS WATERPROOFING SYSTEM, SLOPE MIN 1/4":12" AWAY FROM HOUSE AND SLOPE TO SCUPPER+DOWNSPOUT
- MARINE GRADE FLYWOOD OR PER STRUCTURAL AND MFR
- SLEEPERS OR RIGID INSULATION (SLOPE 1/4":12)
- MARINE GRADE FLYWOOD OR PER STRUCTURAL AND MFR
- FRAMING PER STRUCTURAL
- R-38 INSULATION @ WATERPROOF DECK OVER CONDITIONED SPACE:
- 9" RIGID INSULATION (R-16), 8 1/4" (R25)
- INTELLO VAPOR VARIABLE AIR BARRIER
- 5/8" GWB
- 1/2" T&G WD CEILING

TYP ROOF PARAPET & GUARDRAIL PER DETAIL

TYP UPPER FLOOR ASSEMBLY (NOT SHOWN)

- FINISH FLOOR PER PLAN
- PLYWOOD SHEATHING PER STRUCTURAL
- JOIST TRAK OR SIM RADIANT HEATING SYSTEM (INSTALL @ UNDER-SIDE OF SHEATHING PER MFR)
- FRAMING PER STRUCTURAL
- HAVELOCK WOOL OR SIM SOUND INSULATION
- 5/8" GWB

STAIR AND LANDING PER STRUCTURAL & DETAILS

TYP EXTERIOR WALL ASSEMBLY PER 2/A4.0

TYP MAIN FLOOR ASSEMBLY PER 2/A4.0

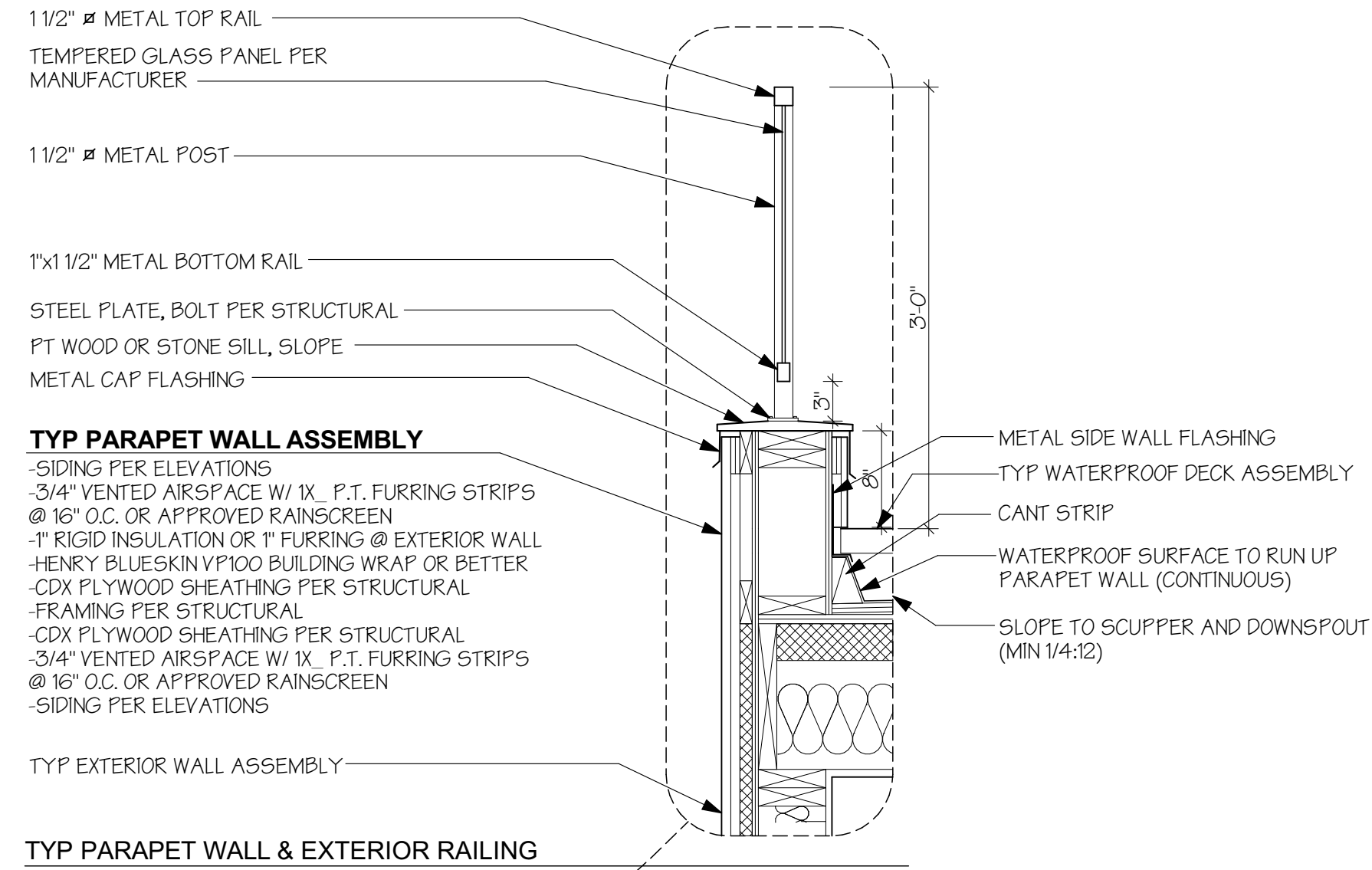
INSTALL THERMAL BREAK @ SLAB TO FOUNDATION
MIRADRAIN 6000 DRAIN BOARD OR APPROVED EQUAL OVER TREMPROOF 250GC, XYPEX OR APPROVED EQUAL WATERPROOFING @ ALL BELOW GRADE FOUNDATIONS, TYP

4" PERFORATED FOOTING DRAIN IN DRAIN ROCK, INSTALL PER CITY OF MERCER ISLAND SPECIFICATIONS AND PER CIVIL & GEOTECH ENGINEER.
SURROUND 4" PERFORATED PVC PIPE DRAIN BY 6" MIN 1" MINUS WASHED GRAVEL ENCASED WITH NON-WOVEN GEOTEXTILE FILTER FABRIC; REFER TO CIVIL ENGINEER & GEOTECH TYP

CONCRETE FOUNDATION & FOOTING PER STRUCTURAL, TYP

1 WALL SECTION

SCALE: 1/2" = 1'-0"



TYP PARAPET WALL & EXTERIOR RAILING

T=1'-0"

TYP EXTERIOR RAILING ASSEMBLY

STAIR PER STRUCTURAL

TYP PARAPET WALL ASSEMBLY

WATERPROOF SURFACE TO RUN UP PARAPET WALL (CONTINUOUS)

CANT STRIP

SLOPE TO SCUPPER AND DOWNSPOUT (MIN 1/4":12)

TYP ROOF DECK ASSEMBLY PER 1/A4.1; INSTALL RIGID INSULATION AS NEEDED TO MEET R38

TYP MAIN FLOOR ASSEMBLY PER 2/A4.0

PT WOOD OR STONE SILL, SLOPE

METAL CAP FLASHING

METAL SIDE WALL FLASHING

CRICKET ROOF PER STRUCTURAL

TYP ROOF ASSEMBLY PER 1/A4.0

BEAM PER STRUCTURAL

FURR CEILING BELOW BEAM TO ALIGN W/ ADJACENT

TYP MAIN FLOOR ASSEMBLY PER 2/A4.0

TYP EXTERIOR WALL ASSEMBLY PER 2/A4.0

TYP MAIN FLOOR ASSEMBLY PER 2/A4.0

TYP EXTERIOR WALL ASSEMBLY PER 2/A4.0

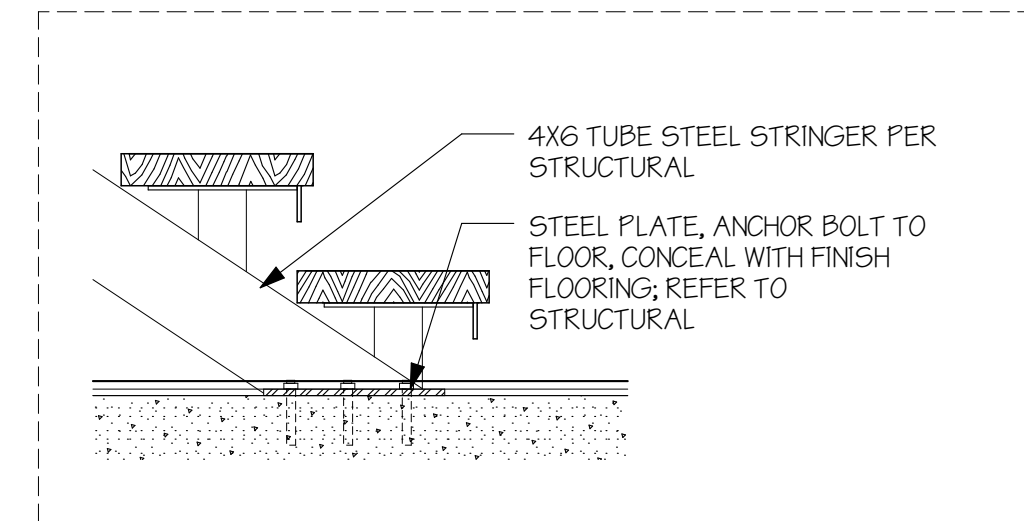
TYP MAIN FLOOR ASSEMBLY PER 2/A4.0

TYP EXTERIOR WALL ASSEMBLY PER 2/A4.0

TYP MAIN FLOOR ASSEMBLY PER 2/A4.0

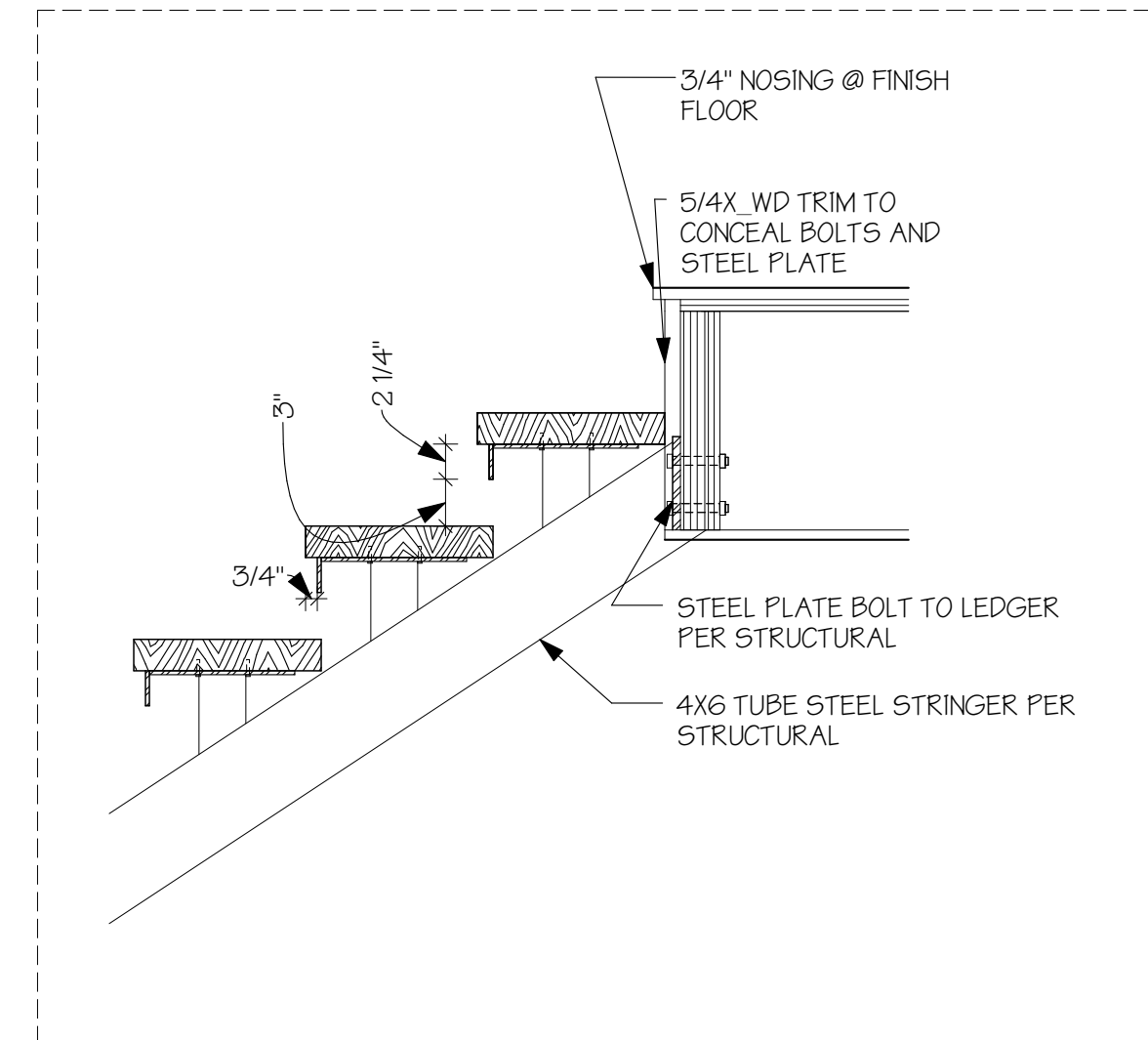
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SCALE: 1/2" = 1'-0"



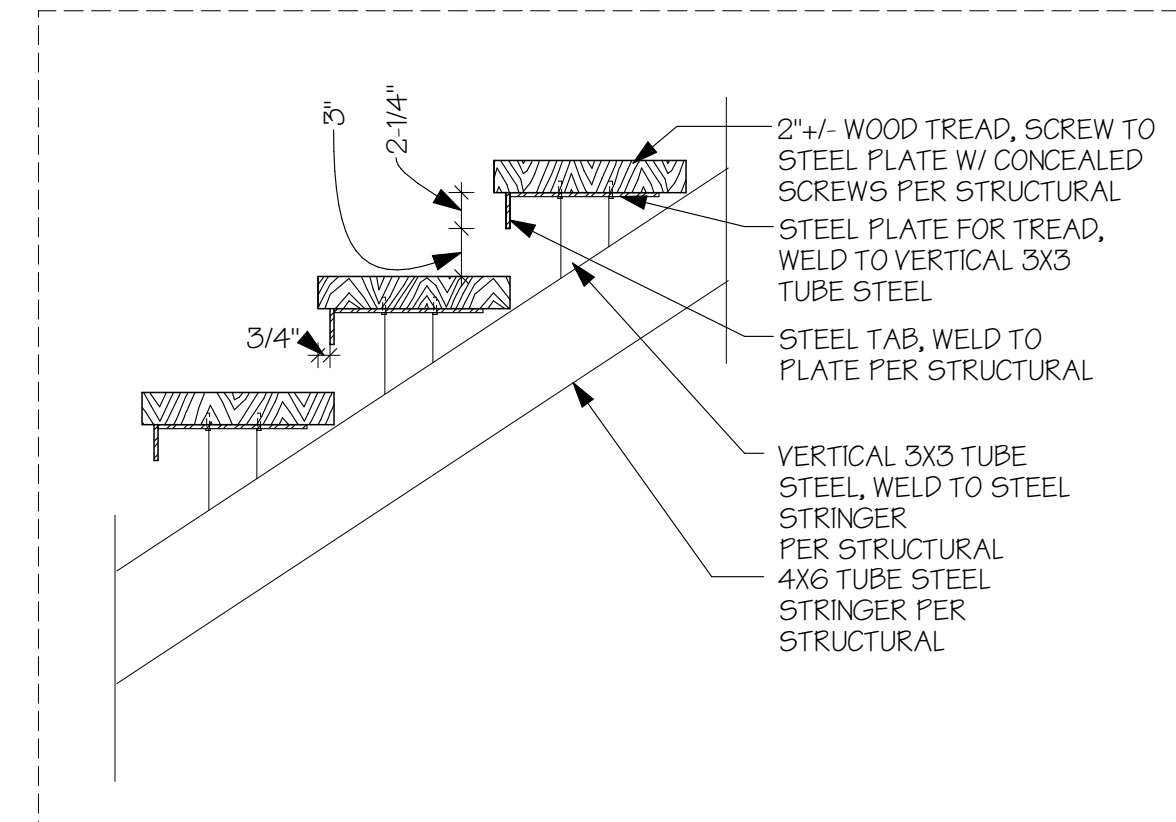
3 STAIR DETAIL

SCALE: 1/2" = 1'-0"



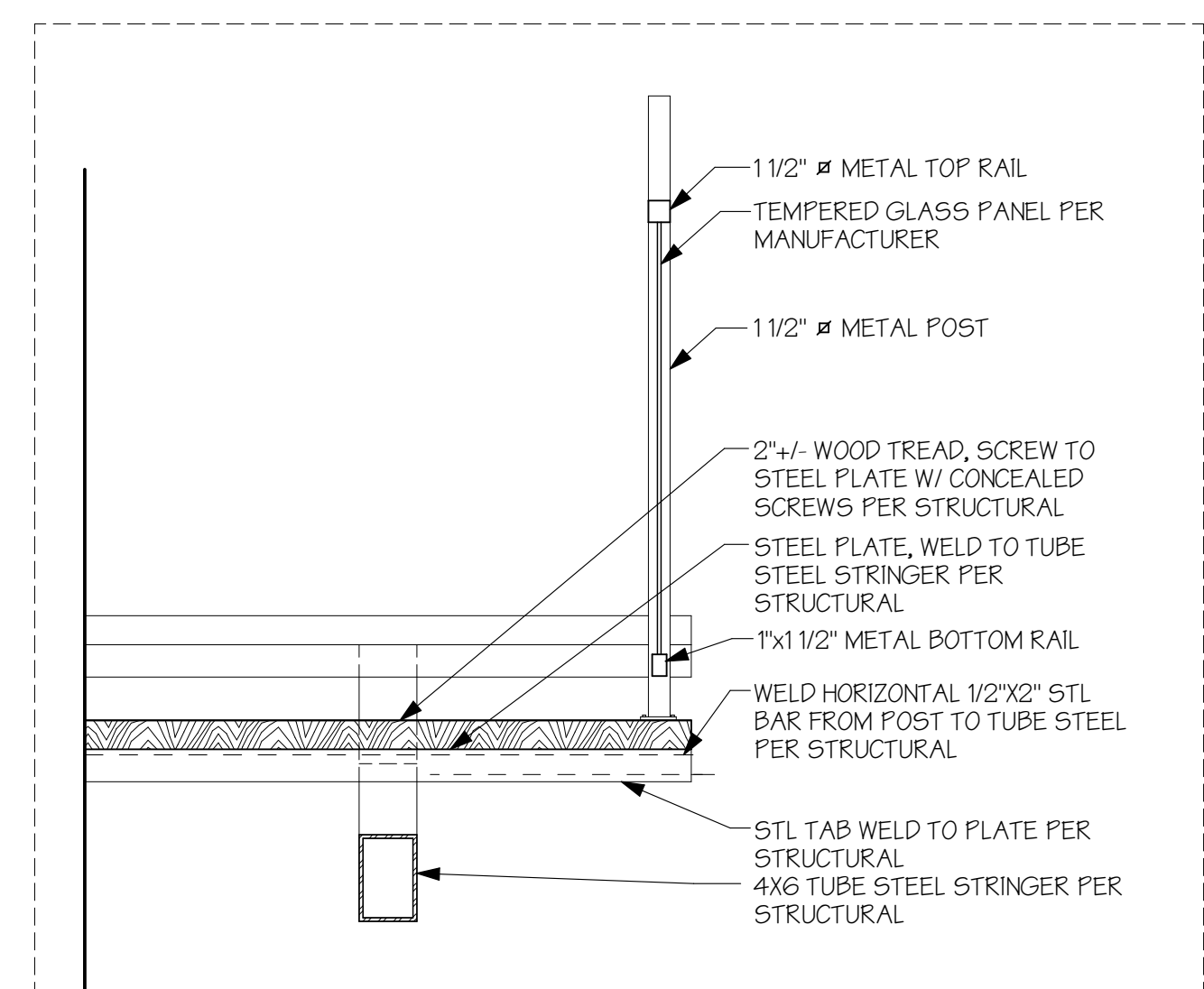
4 STAIR DETAIL

SCALE: 1/2" = 1'-0"



5 STAIR DETAIL

SCALE: 1/2" = 1'-0"



6 STAIR DETAIL

SCALE: 1/2" = 1'-0"

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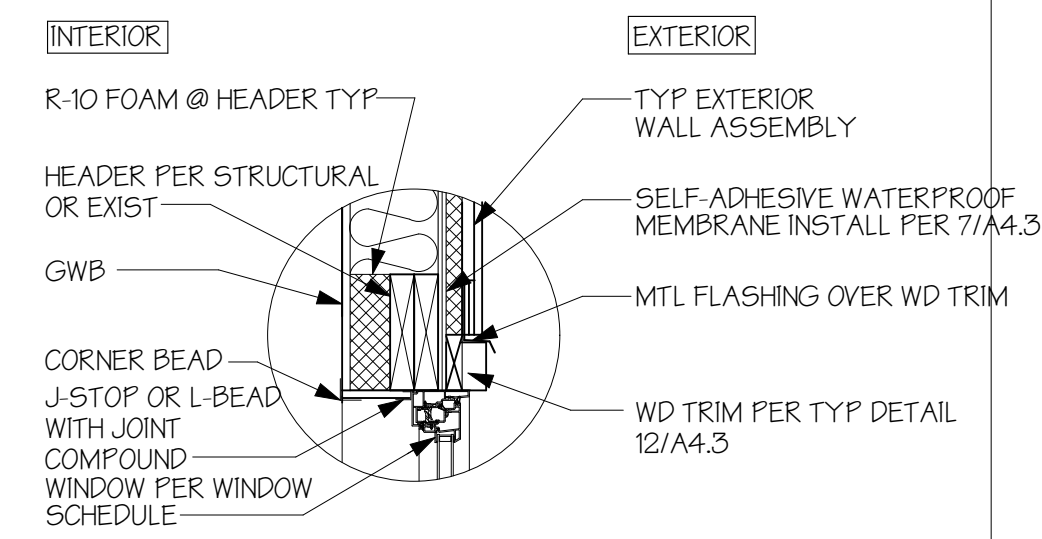
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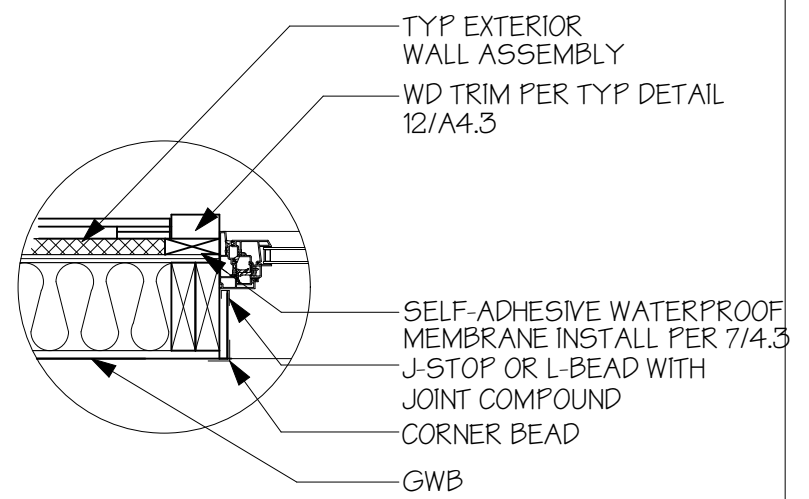
PERMIT SET

WALL SECTIONS

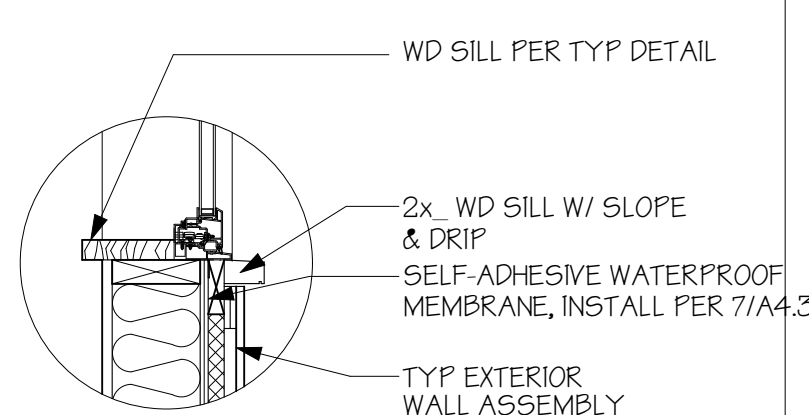
A4.2



1 TYP WINDOW HEAD
1" = 1'-0"

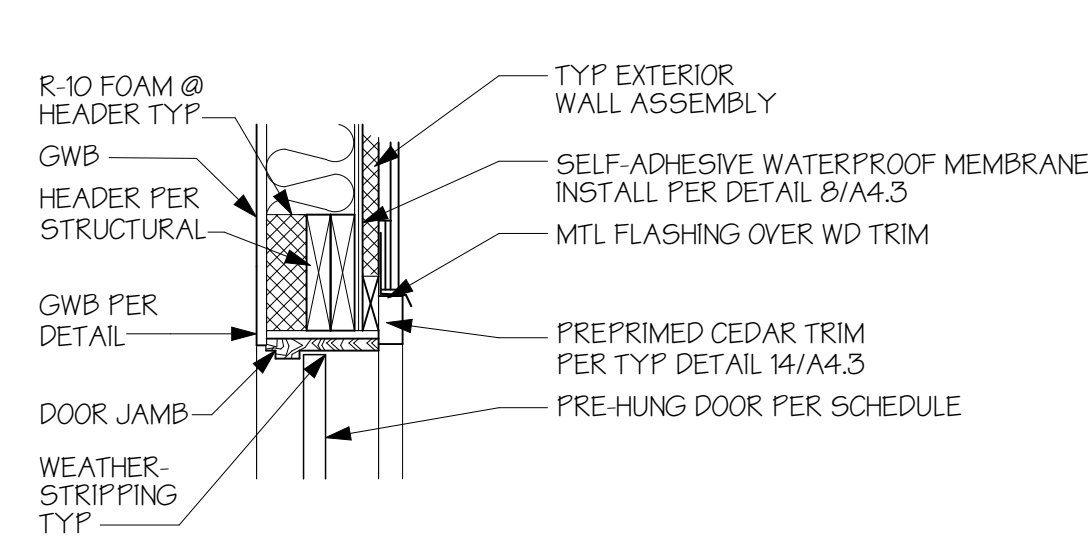


2 TYP WINDOW JAMB
1" = 1'-0"

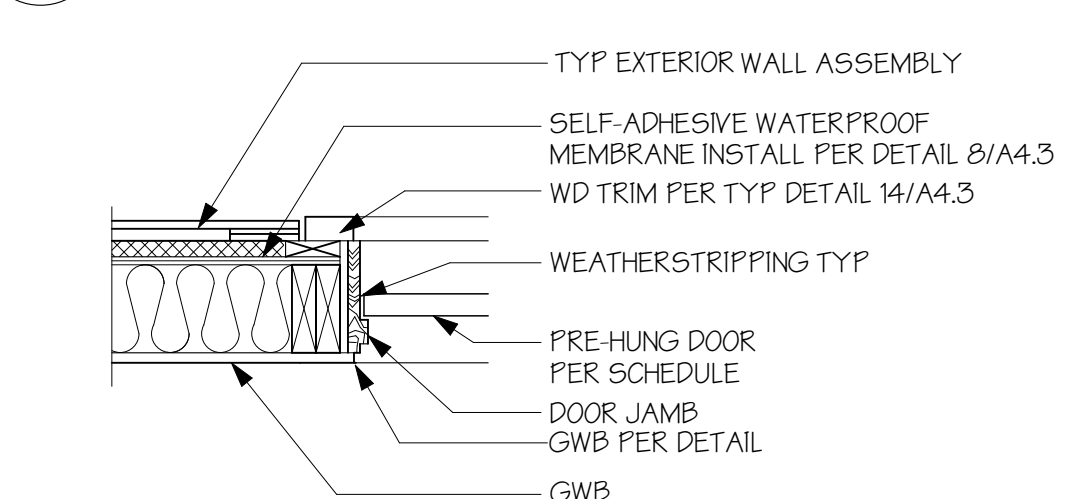


3 TYP WINDOW SILL
1" = 1'-0"

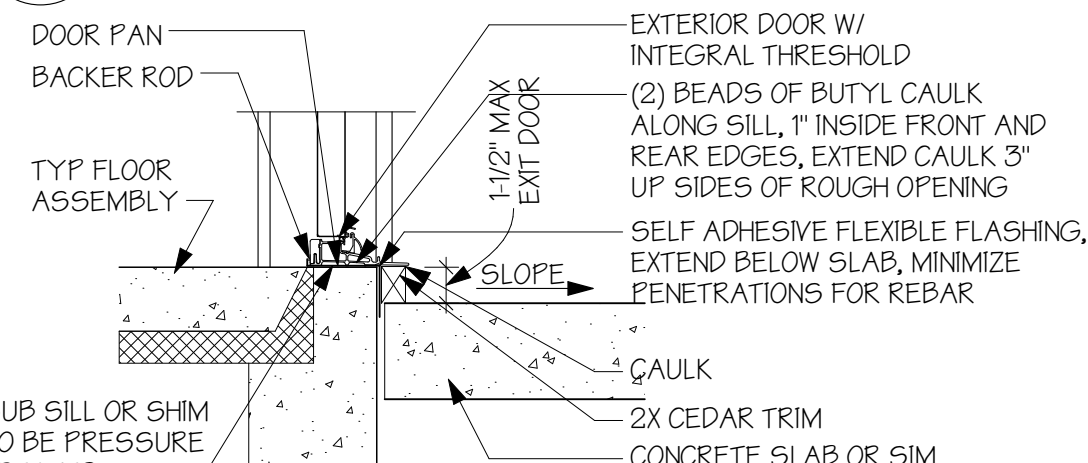
TYPICAL WINDOW NOTE:
1. INSTALL BACKER ROD AND/OR FOAM INSULATION @ ANY GAP BETWEEN WINDOW AND ROUGH FRAME, TYP



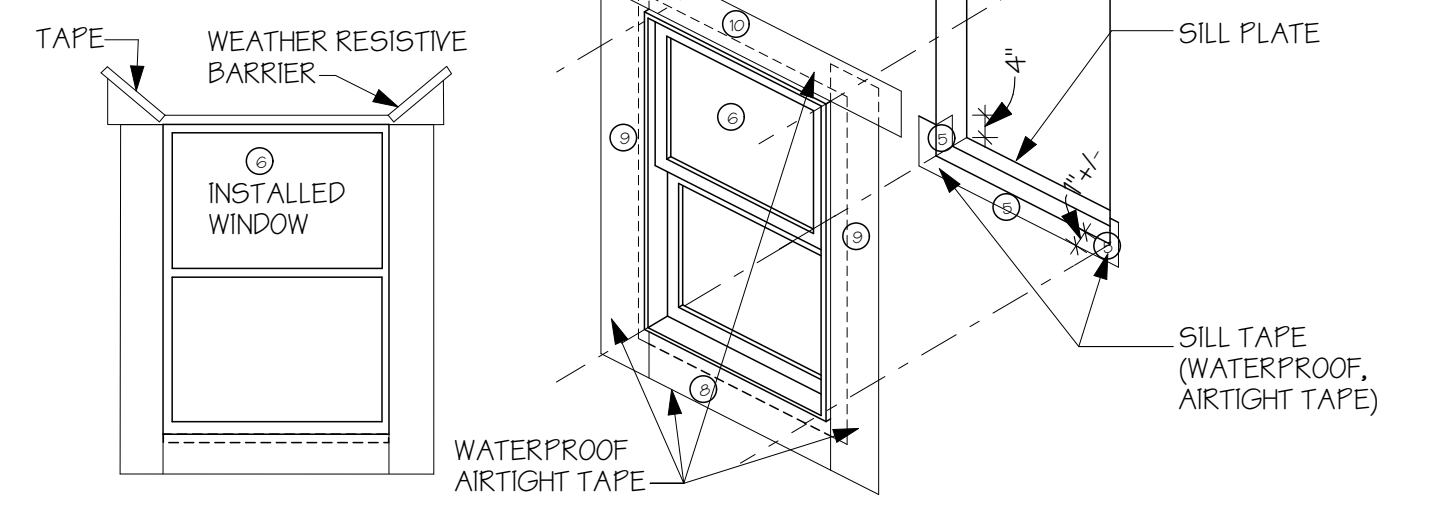
4 TYP EXTERIOR DOOR HEAD
1" = 1'-0"



5 TYP EXTERIOR DOOR JAMB
1" = 1'-0"

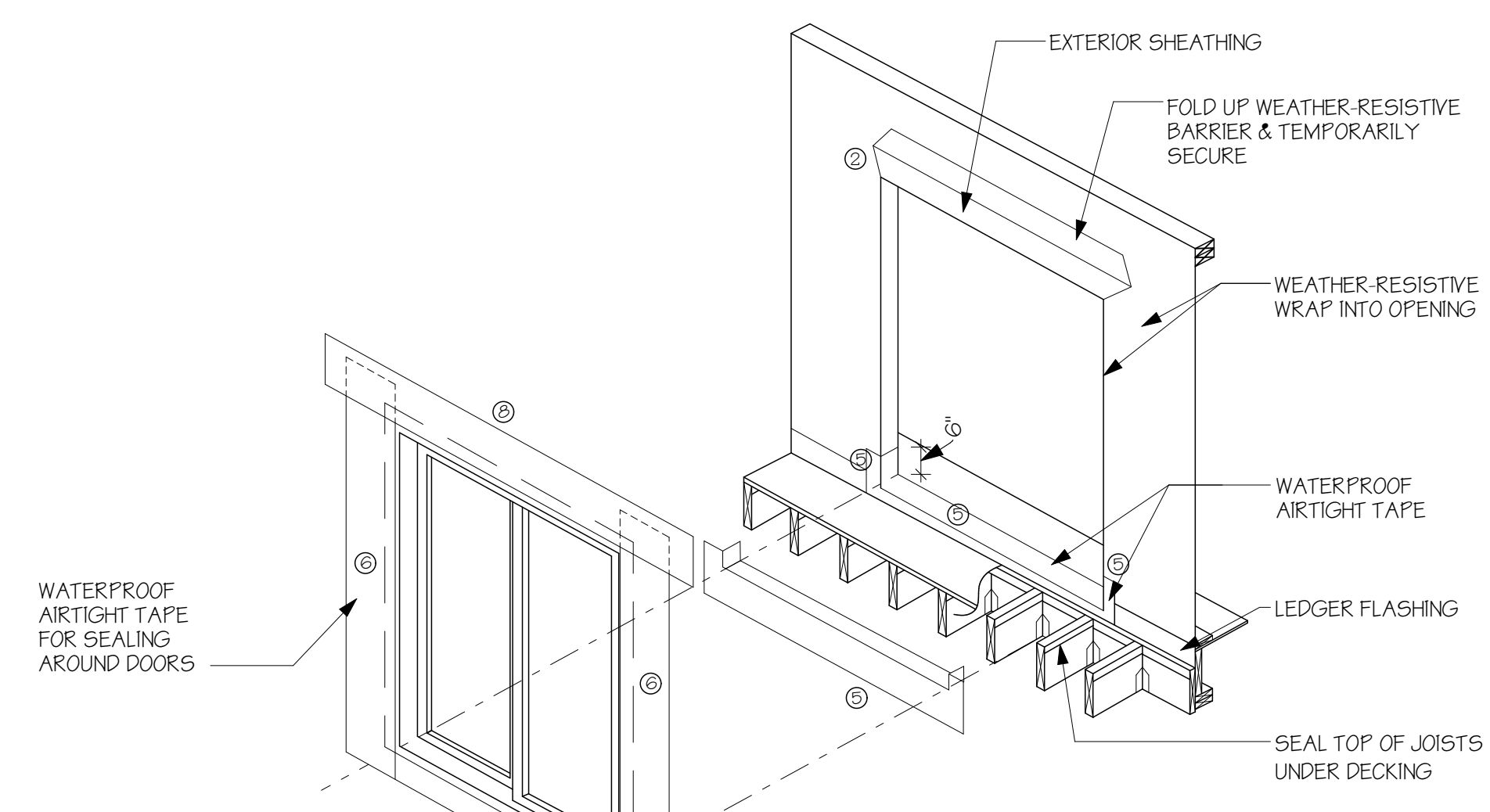


6 TYP DOOR THRESHOLD
1" = 1'-0"
NOTE: CONDITIONS VARY



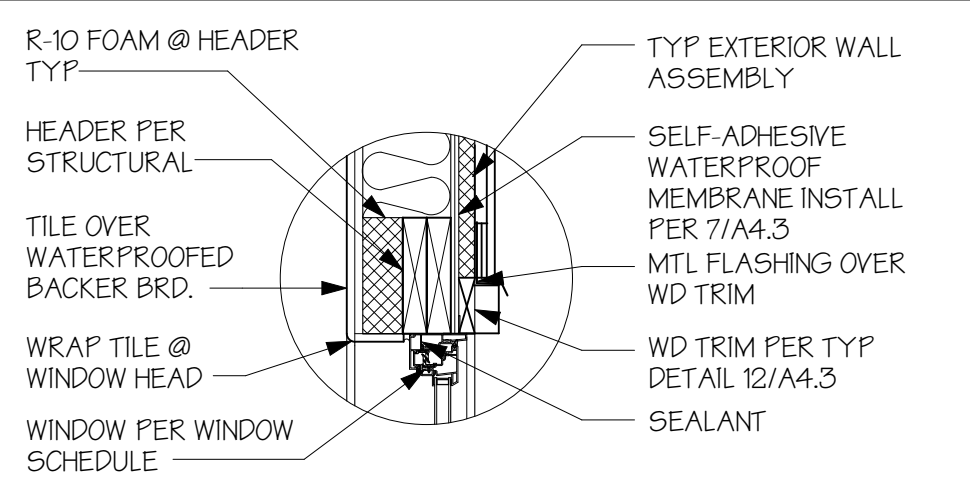
WINDOW FLASHING
1. CUT THE WRB FLUSH WITH THE ROUGH OPENING
2. CUT THE WRB AT 45 DEGREE ANGLE TO A POINT 9" UP AND 9" OUT FROM THE UPPER CORNERS OF THE ROUGH OPENING
3. FOLD UP WRB FLAP AT HEAD AND TEMPORARILY SECURE WITH MASKING TAPE SO THAT IT CAN BE INSTALLED OVER THE HEADER FLANGE OF THE WINDOW LATER.
4. FOLD BACK THE OTHER TWO EDGES OF THE WRB INTO THE ROUGH OPENING AND SECURE BY STAPLING. TO ENSURE POSITIVE DRAINAGE OF THE SILL PREVENT WATER INTRUSION, ADD A BACK DAM OR SLOPE SILL AT THE BOTTOM OF THE R.O.
5. INSTALL SILL TAPE ON WINDOW SILL, EXTENDING IT UP EACH SIDE A MIN OF 4". ACCURATELY PRESS INTO CORNERS. OVERLAP THE VERTICAL FACE OF THE WRB APPROXIMATELY MIN 1". TRIM AND PRESS/STRECH AROUND BOTH CORNERS.
6. INSTALL FLANGED WINDOW AND FASTEN TO STRUCTURE PER MFR'S INSTRUCTIONS.
7. WRB AT TOP FLANGE: UNFOLD WRB AND RUN IT OVER THE TOP OF FLANGE.
8. FLANGE TAPE: USE FLANGE TAPE TO SEAL BOTTOM FLANGE TO THE WRB. PRESS FIRMLY TO AFFIX.
9. TAPE THE SIDE FLANGES TO THE WRB.
10. TAPE THE WRB TO THE TOP FLANGE.
11. TAPE THE DIAGONAL CUTS IN THE WRB ABOVE THE WINDOW HEAD.
*NOTE: MAKE SURE TAPING IS DONE FROM BOTTOM TO TOP SO THAT ALL TAPE JOINTS ARE PROPERLY SHIPLAPPED.

7 TYP WINDOW FLASHING DTL
N.T.S. OR APPROVED EQUAL

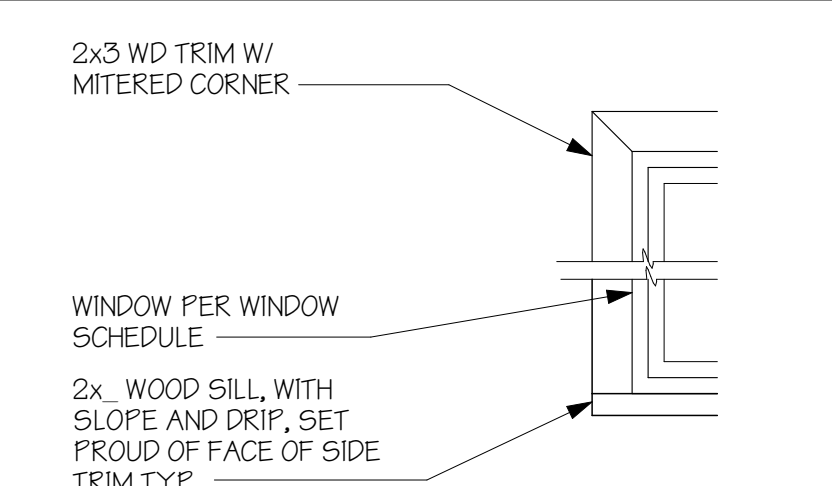


DOOR FLASHING
1. CUT THE WRB FLUSH AT THE DOOR R.O.
2. AT THE DOOR R.O. HEAD, CUT THE WRB AT 45 DEGREE ANGLE TO A POINT 9" UP AND 9" OUT FROM THE UPPER CORNERS OF THE ROUGH OPENING
3. FOLD UP WRB FLAP AT HEAD AND TEMPORARILY SECURE WITH MASKING TAPE SO THAT IT CAN BE INSTALLED OVER THE HEADER FLANGE OF THE WINDOW LATER.
4. FOLD BACK THE OTHER TWO EDGES OF THE WRB INTO THE ROUGH OPENING AND SECURE WITH AIRTIGHT TAPE. ADD A BACK DAM OR SLOPE SILL AT THE BOTTOM OF THE R.O.
5. INSTALL WATERPROOF AIRTIGHT TAPE ON SILL AND INTO FULL DEPTH OF ROUGH OPENING, EXTENDING IT UP EACH SIDE A MIN OF 6". ACCURATELY PRESS INTO CORNERS. OVERLAP THE VERTICAL FACE OF THE WRB APPROXIMATELY MIN 3". TRIM AND PRESS/STRECH AROUND BOTH CORNERS.
6. INSTALL WP AIRTIGHT TAPE ON THE JAMB AND INTO THE FULL INTERIOR DEPTH OF THE ROUGH OPENING OVERLAPPING THE WRB.
7. INSTALL WP AIRTIGHT TAPE TO THE HEAD
8. TAPE THE DIAGONAL CUTS IN THE WRB ABOVE THE DOOR HEAD.
*NOTE: MAKE SURE TAPING IS DONE FROM BOTTOM TO TOP SO THAT ALL TAPE JOINTS ARE PROPERLY SHIPLAPPED.

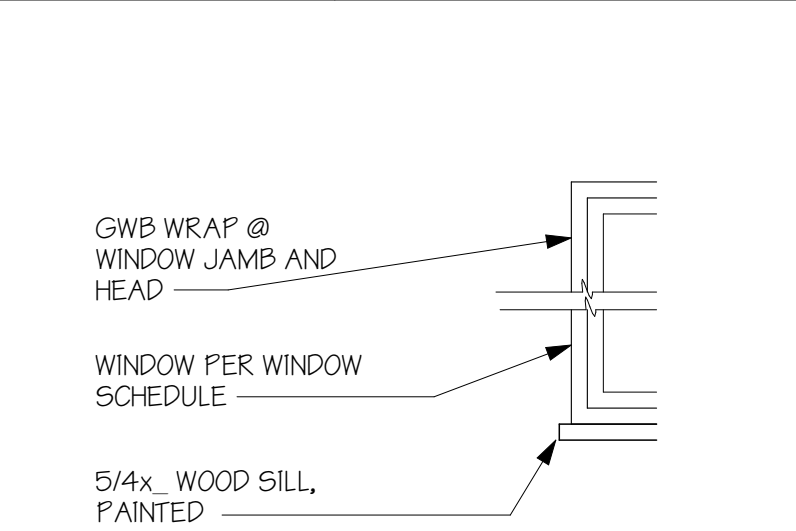
8 TYP DOOR FLASHING DTL @ EXTERIOR
N.T.S. OR APPROVED EQUAL



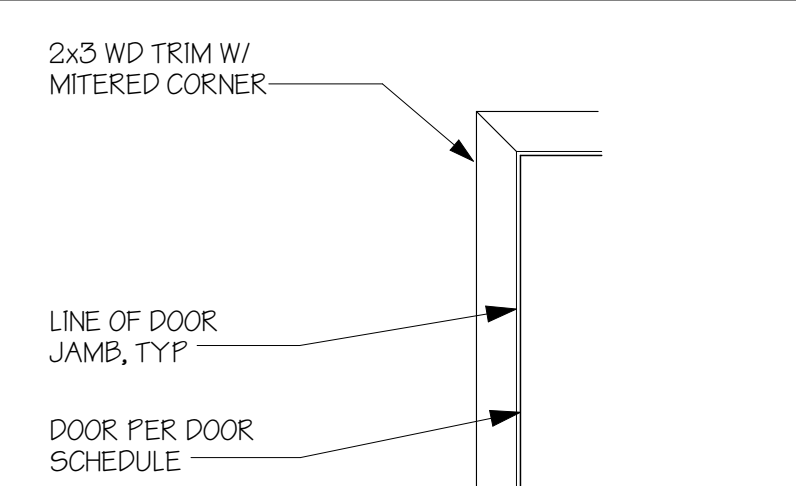
9 TYP WNDW HEAD @ SHOWER
1" = 1'-0"



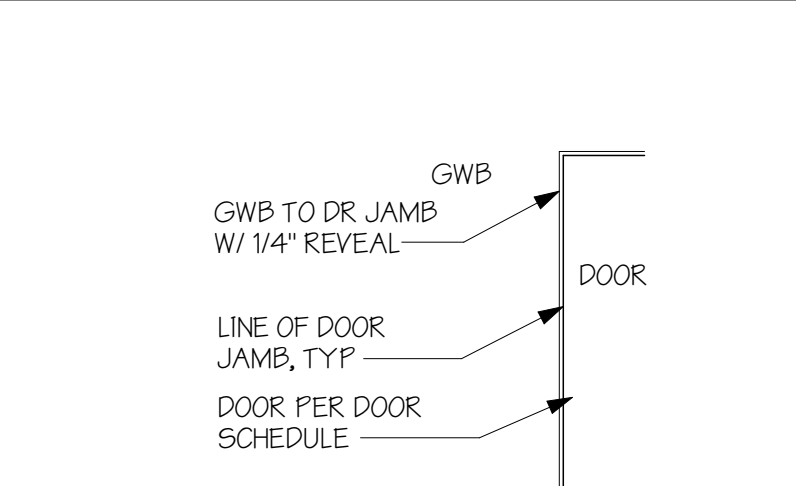
12 TYP EXT. WNDW TRIM
1" = 1'-0"



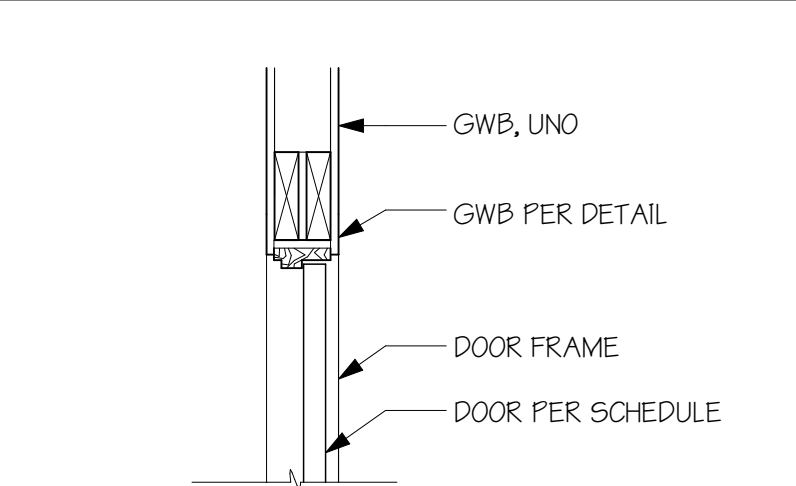
13 TYP INT. WNDW TRIM
1" = 1'-0"



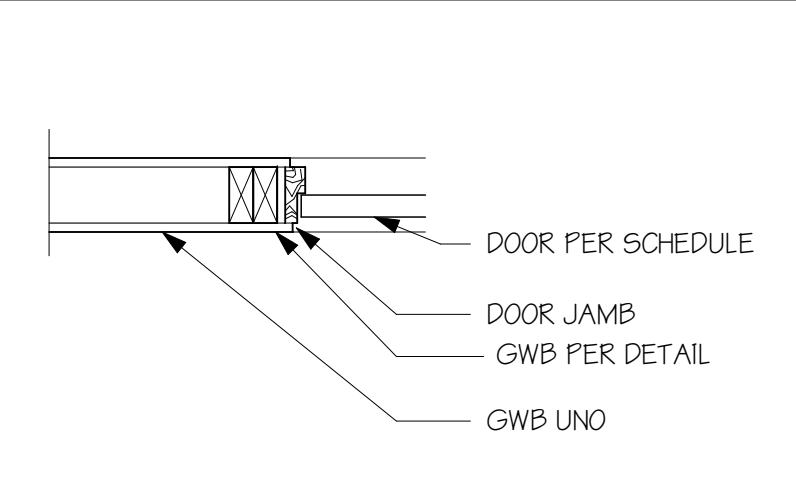
14 TYP EXT. DOOR TRIM
1" = 1'-0"



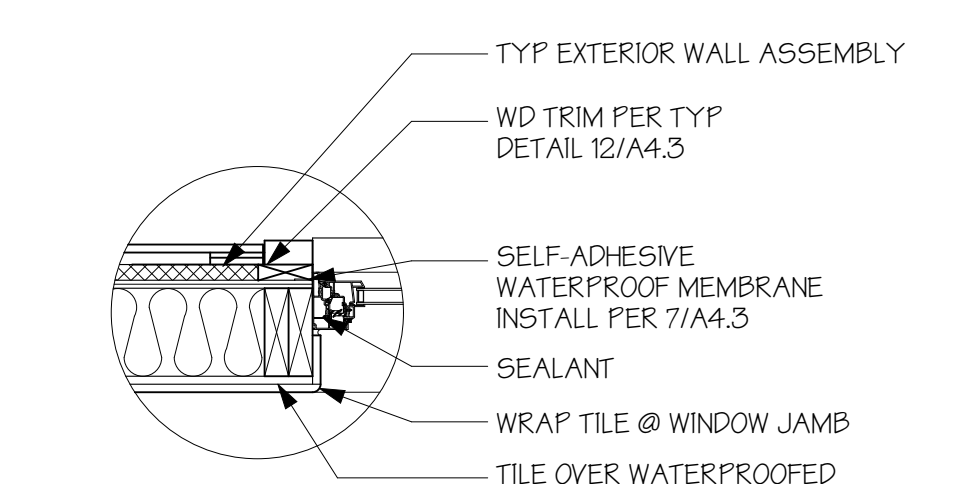
15 TYP INT. DOOR TRIM
1" = 1'-0"



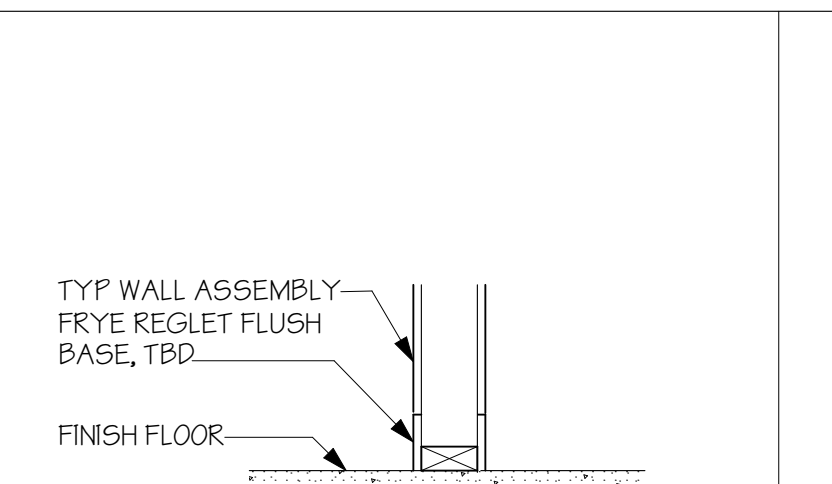
16 TYP INT DOOR HEAD
1" = 1'-0"



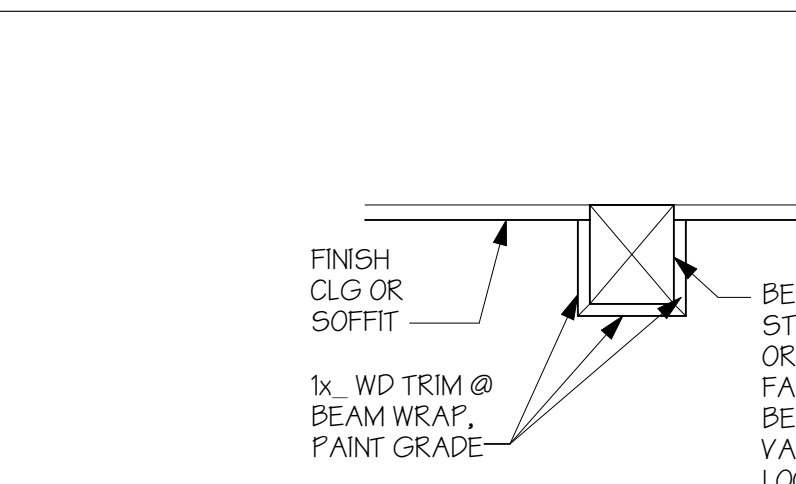
17 TYP INT DOOR JAMB
1" = 1'-0"



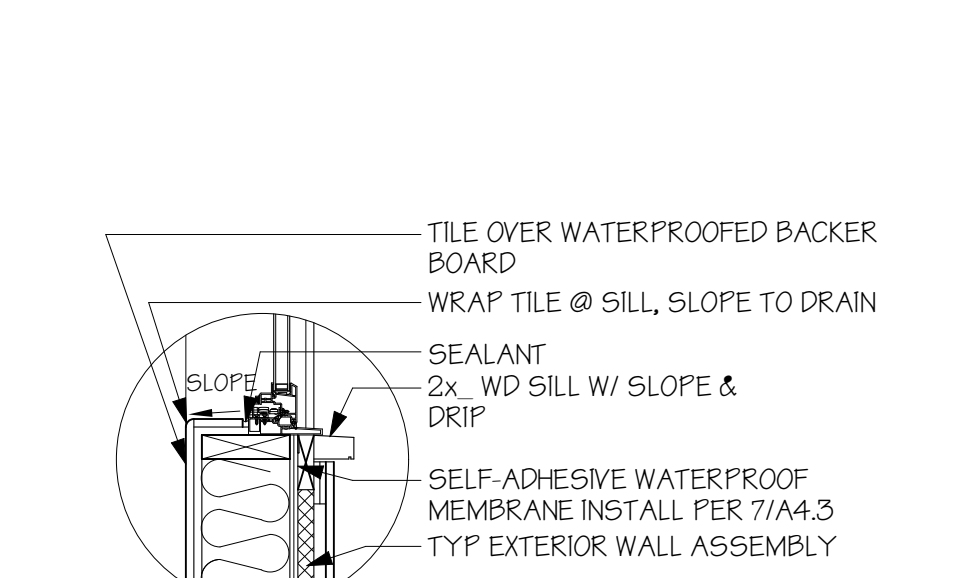
10 TYP WNDW JAMB @ SHOWER
1" = 1'-0"



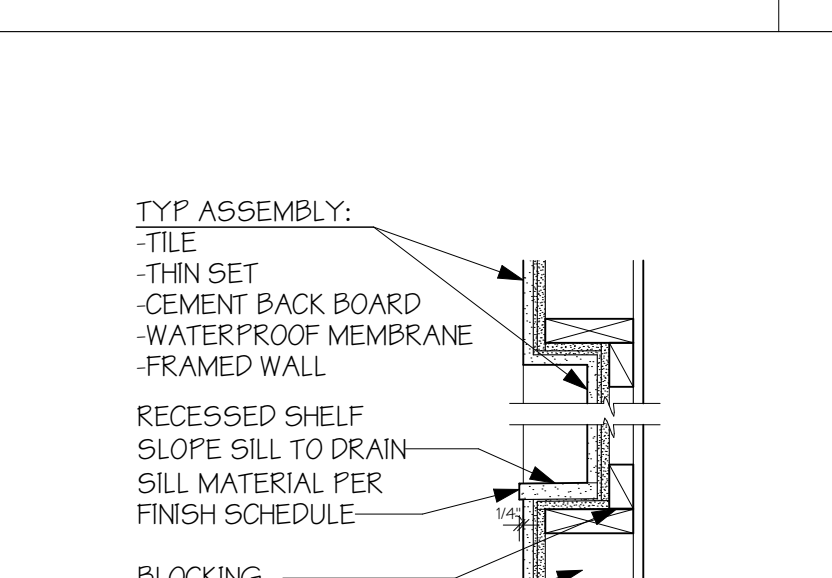
18 TYP BASE DTL
3/4" = 1'-0"



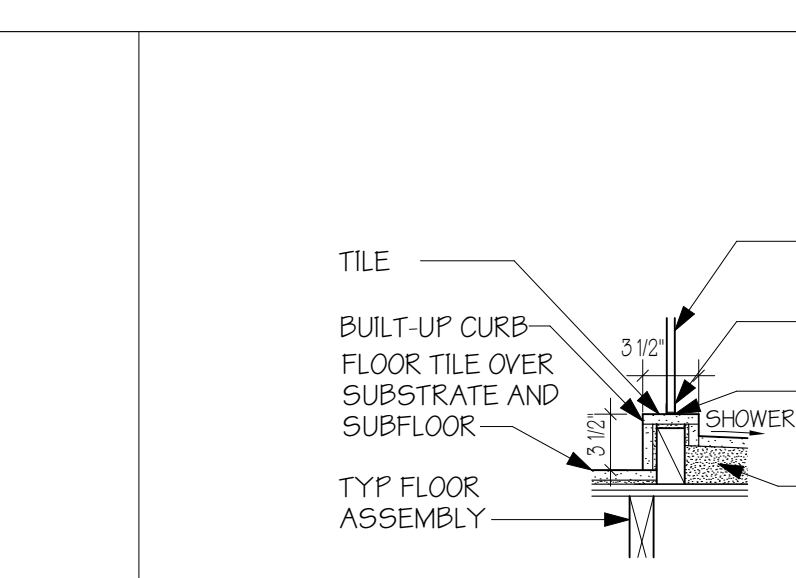
19 TYP BEAM WRAP DETAIL
1-1/2" = 1'-0"



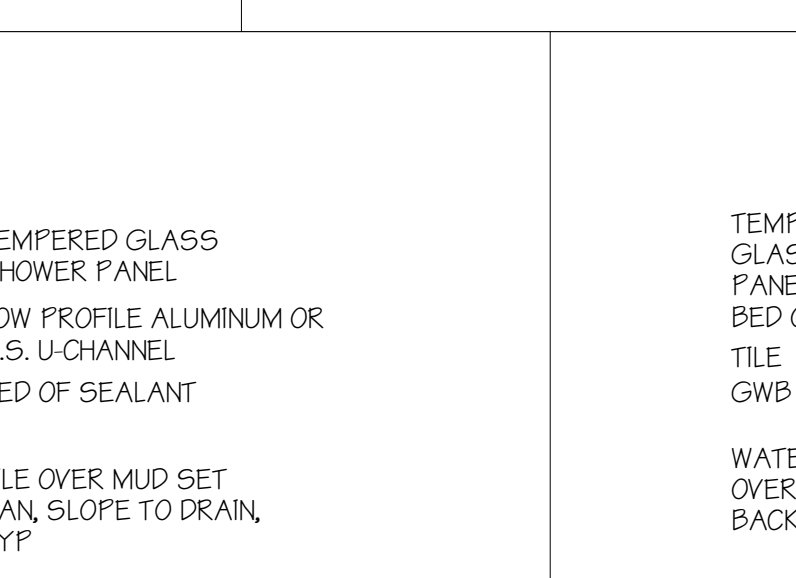
11 TYP WNDW SILL @ SHOWER
1" = 1'-0"



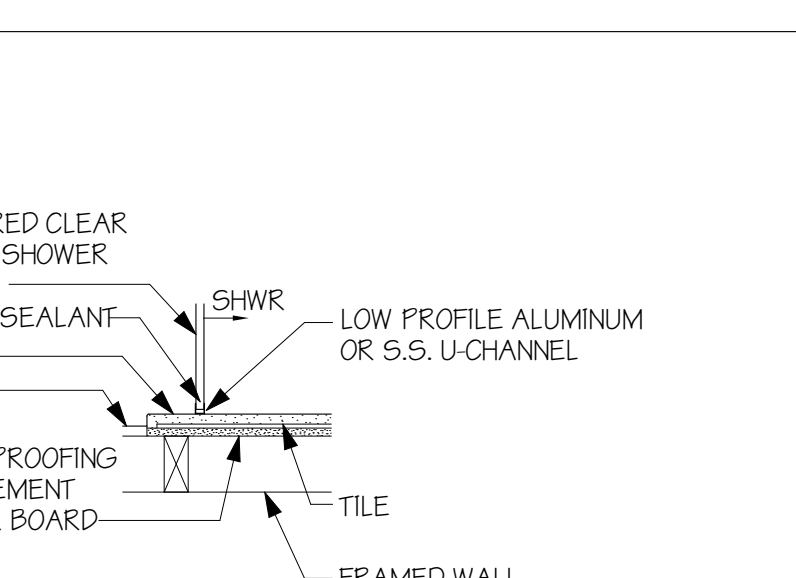
20 TYP RECESSED SHELF DTL
1" = 1'-0"



21 TYP U-CHANNEL DTL @ CURB
1" = 1'-0"



22 TYP U-CHANNEL @ WALL
1" = 1'-0"
PLAN VIEW



23 TYP BENCH DTL - SECTION
1-1/2" = 1'-0"

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PERMIT SET
TYP. DETAILS

A4.3



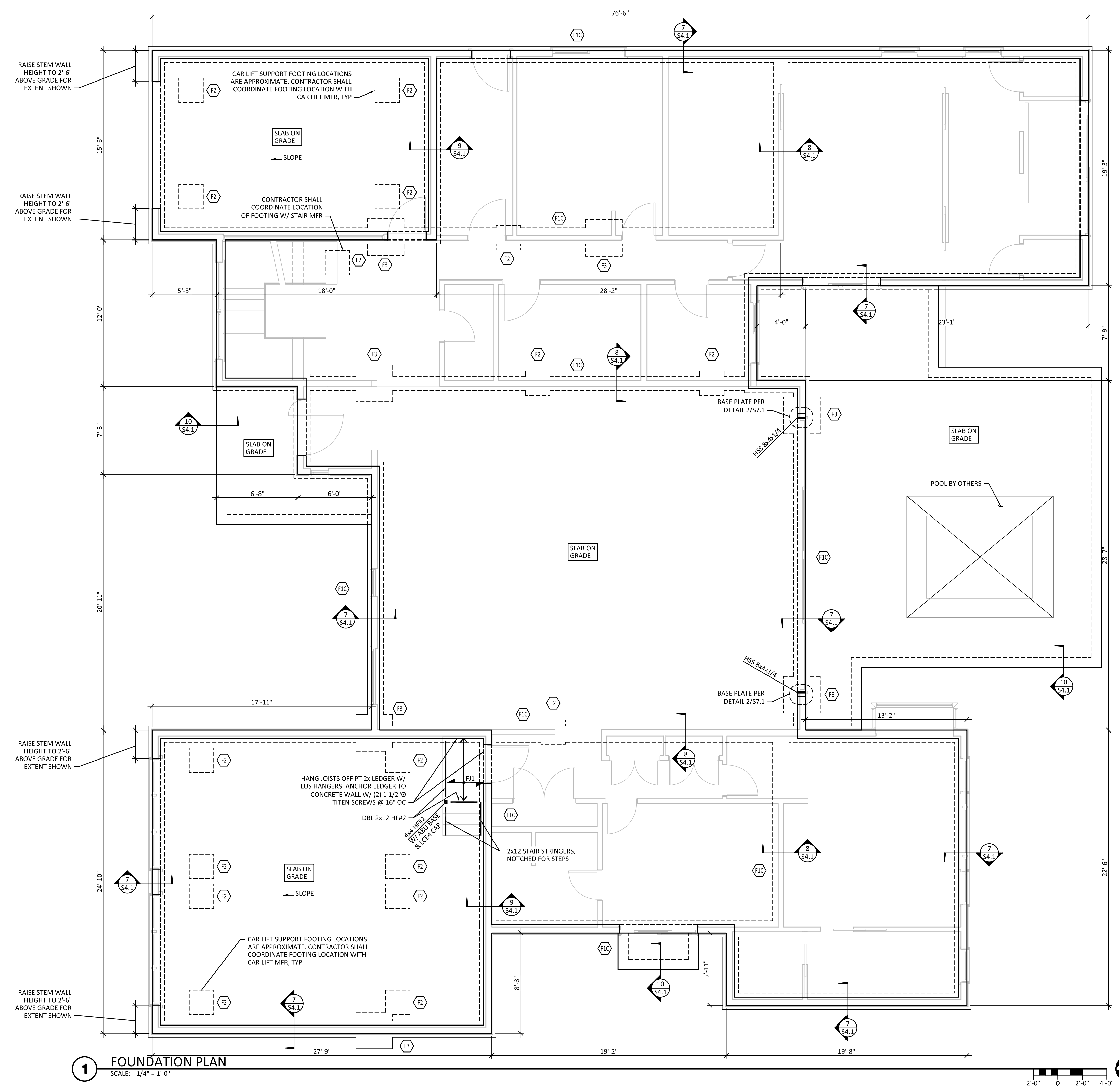
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	04/11/22	PERMIT SUBMITTAL

DESIGN:	DTR
DRAWN:	LWV
CHECK:	DMT
JOB NO:	22032.10
DATE:	04/11/22

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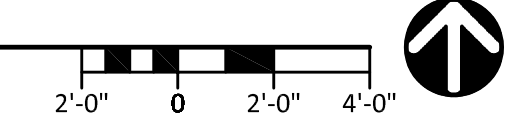
FOUNDATION PLAN

SHEET:
S2.1



- FOUNDATION PLAN NOTES:**
- EXTERIOR FOOTINGS SHALL BEAR A MIN OF 1'-6" BELOW ADJACENT GRADE.
 - FOOTINGS AND SLAB ON GRADE SHALL BEAR ON FIRM NATIVE SOIL OR COMPACTED STRUCTURAL FILL.
 - WHERE SLAB ON GRADE IS INDICATED, SLAB SHALL BE 4" THICK W/ 6x6-W1.4 x W1.4 WELDED WIRE FABRIC REINF. SLAB SHALL BE POURED OVER A 8 MIL VAPOR BARRIER OVER 4" OF 5/8" CRUSHED ROCK.
 - REFER TO PLAN AND "CONCRETE GENERAL NOTES" ON SHEET S1.1 FOR CONTROL JOINT PLACEMENT AND DETAIL S/54.1 FOR CONTROL JOINT CONSTRUCTION.
 - (F) INDICATES FOOTING TYPE. REFER TO FOOTING SCHEDULE ON SHEET S3.1 FOR SIZE & REINFORCEMENT. REFER TO SHEET S4.1 FOR FOUNDATION DETAILS.
 - PLACE ALL REINFORCEMENT PER THE STRUCTURAL NOTES AND FOUNDATION DETAILS. REFER TO SHEET S1.1 FOR ADDITIONAL CONCRETE DETAILING REQUIREMENTS.
 - FOUNDATION LEVEL HOLDDOWNS ARE SHOWN ON ROOF FRAMING PLAN. REFER TO HOLDDOWN SCHEDULE ON SHEET S3.1 FOR HOLDDOWN TYPES AND MAIN FLOOR FRAMING PLAN FOR HOLDDOWN ANCHOR BOLT LOCATIONS.
 - REFER TO ROOF FRAMING PLAN AND SHEAR WALL SCHEDULE ON SHEET S3.1 FOR LOCATION OF SHEAR WALL ANCHOR BOLTS. ANCHORAGE AT NON-SHEAR WALLS SHALL BE PER STRUCTURAL NOTES.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS, WALL LOCATIONS, AND CONCRETE ROUGH OPENINGS WITH ARCHITECTURAL DRAWINGS AND NOTIFY ALL PARTIES OF ANY DISCREPANCIES.
 - REFER TO DETAIL 2/S4.1 FOR PIPE PENETRATIONS THROUGH CONCRETE WALL OR FOOTINGS.

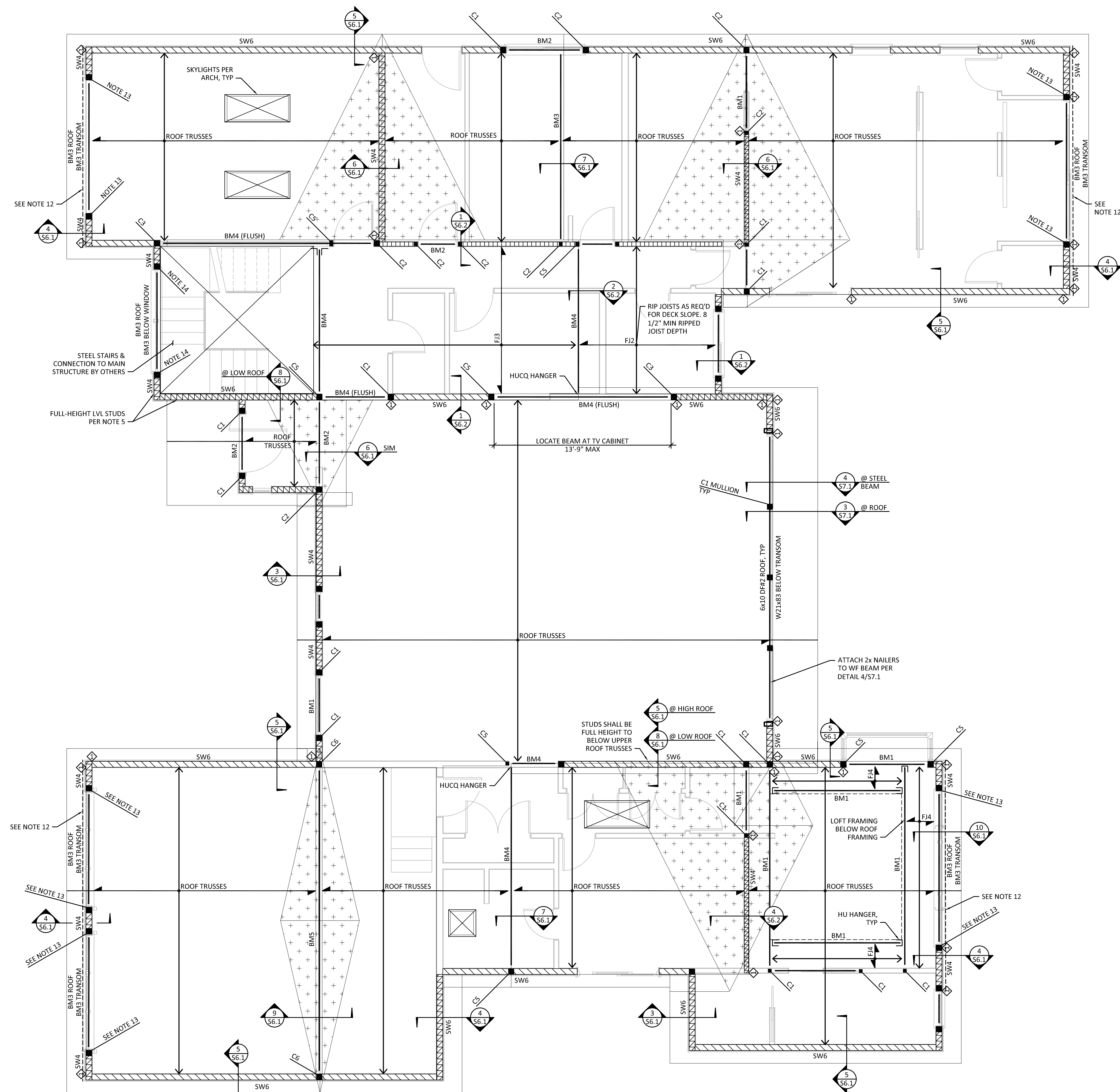
1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"





04/11/22

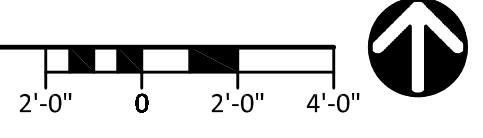
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JOB NO:		22032.10
DATE:		04/11/22



TYPICAL ROOF FRAMING PLAN NOTES:

- WALLS SHOWN ON ROOF FRAMING PLAN ARE WALLS BELOW ROOF FRAMING.
- FLOOR & ROOFTOP DECK SHEATHING SHALL BE 3/4" P1 48/24 WITH 10d COMMON NAILS SPACED AT 6" OC AT ALL DIAPHRAGM BOUNDARIES, PANEL EDGES AND SHEAR WALLS AND 10" OC AT INTERMEDIATE FRAMING. FOR SHEATHING LAYOUT AND NAILING REFER TO DETAIL 2/SS.1.
- ROOF SHEATHING SHALL BE 1/2" P1 40/20 WITH 8d COMMON NAILS SPACED AT 6" OC AT ALL DIAPHRAGM BOUNDARIES, PANEL EDGES, SHEAR WALLS, COLLECTOR TRUSSES, AND BLOCKING OR TRUSS BLOCKING PANELS INDICATED ON PLANS. NAILING AT INTERMEDIATE FRAMING SHALL BE 8d COMMON NAILS @ 12" OC. REFER TO DETAIL 2/SS.1 FOR SHEATHING LAYOUT AND NAILING.
- UNLESS NOTED OTHERWISE, HEADERS SHALL BE 4x6 HF#2 W/ (1) CRIPPLE STUD + (1) FULL HEIGHT STUD.
- STUD WALL FRAMING SHALL BE 2x HF STUDS @ 16" OC FOR ALL STUD WALLS SHOWN ON THE PLAN. STUDS OVER 15'-0" IN HEIGHT SHALL BE 1 3/4" x 5 1/2" LVL STUDS @ 16" OC.
- REFER TO SHEET S6.1 FOR TYPICAL ROOF FRAMING DETAILS.
- REFER TO DETAIL 3/SS.1 FOR CONSTRUCTION OF MULTIPLE STUD COLUMNS.
- HOLD-DOWNS SHOWN ON ROOF FRAMING PLAN SHALL BE PLACED ON FOUNDATION LEVEL.
- ROOF TRUSSES SHALL BE PRE-ENGINEERED BY OTHERS AND SPACED AT 24" OC, TYP.
- ATTACH ALL ROOF TRUSSES TO WALLS BELOW WITH SIMPSON H2.5 HURRICANE TIES.
- HATCHED AREAS INDICATE OVERFRAMING FOR ROOF CRICKLES. OVERFRAMING SHALL BE CONT 2x SLEEPERS @ 24" OC, RIP TO MATCH ROOF SLOPE.
- PROVIDE CONT CS16 STRAP ABOVE AND BELOW OPENINGS PER DETAIL 5/S6.2.
- PROVIDE (3) FULL-HEIGHT & (2) CRIPPLE 2x6 HF LVL STUDS. SEE DETAIL 6/SS.2 FOR HEADER ATTACHMENT.
- PROVIDE (1) FULL-HEIGHT 5 1/4" x 5 1/4" PSL COLUMN & (3) 2x6 CRIPPLE STUDS. SEE DETAIL 6/SS.2 FOR HEADER ATTACHMENT.

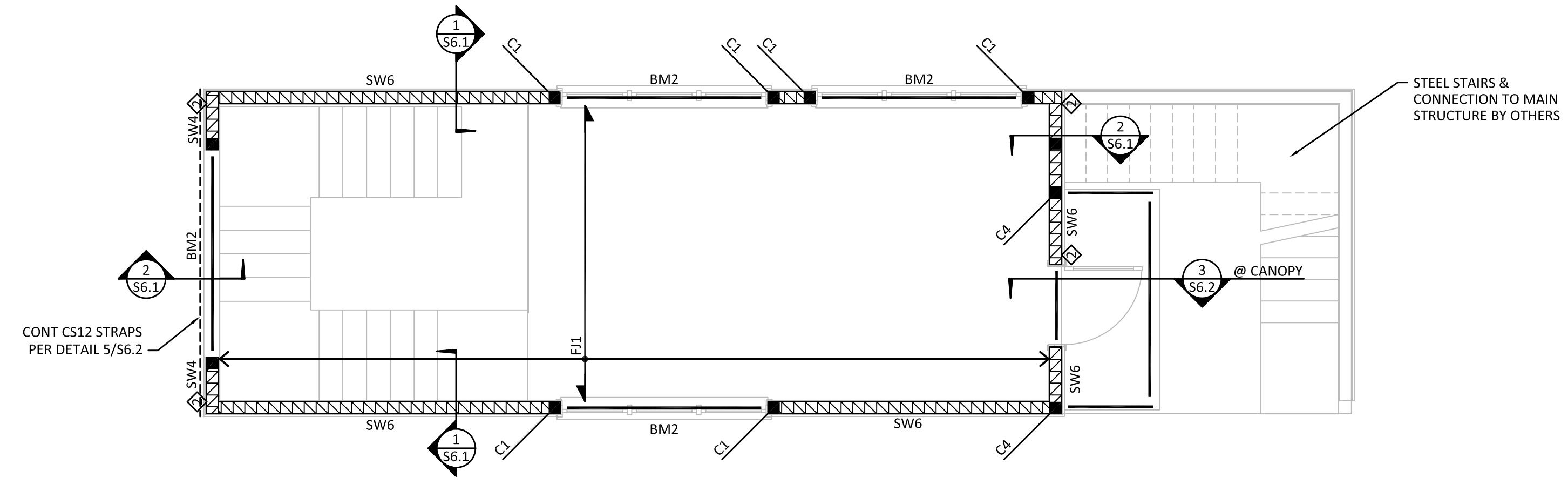
1 ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



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ROOF FRAMING PLAN

SHEET:

S2.2



MARK	DATE	DESCRIPTION
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DESIGN:	DTR
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JOB NO:	22032.10
DATE:	04/11/22

BRUMBAUGH RESIDENCE
 4124 83RD AVE SE
 MERCER ISLAND, WA 98040

ROOFTOP DECK FRAMING PLAN

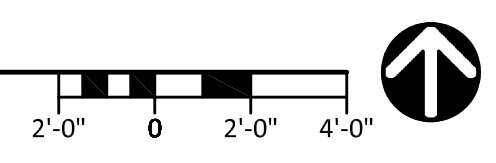
FILE NAME:

SHEET:

S2.3

ROOF FRAMING PLAN NOTES:
 1. SEE S2.2 FOR ROOF FRAMING PLAN NOTES.

1 ROOFTOP DECK FRAMING PLAN
 SCALE: 1/4" = 1'-0"





04/11/22

SHEAR WALL SCHEDULE

TYPE	APA-RATED SHEATHING	MIN FRAMING AT ADJOINING PANEL EDGES (SEE NOTE 5)	SHEAR WALL NAILING AT PANEL EDGES	RIM JOIST OR BLOCK CONN TO TOP PLATE	SILL PLATE NAILING TO RIM/BLKG BELOW	SILL PLATE ANCHOR BOLT TO SLAB OR FOUNDATION (SEE NOTE 11)	FOUNDATION SILL PLATE SIZE	SHEAR CAPACITY (PLF)
SW6	15/32" ONE SIDE	2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 6" OC	LTP4 OR A35 @ 24" OC	0.131"Ø x 3" @ 6" OC	5/8"Ø AB @ 5'-0" OC	2x	242
SW4	15/32" ONE SIDE	2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 4" OC	LTP4 OR A35 @ 20" OC	0.131"Ø x 3" @ 4" OC	5/8"Ø AB @ 4'-0" OC	2x	350
SW3	15/32" ONE SIDE	(2) 2x STUD AND 2x FLAT BLKG	0.131"Ø x 2 1/2" @ 3" OC	LTP4 OR A35 @ 15" OC	0.131"Ø x 3" @ 3" OC	5/8"Ø AB @ 3'-0" OC	2x	455
SW2	15/32" ONE SIDE	3x STUD AND 2x FLAT BLKG	0.131"Ø x 2 1/2" @ 2" OC	LTP4 OR A35 @ 12" OC	0.131"Ø x 3" @ 2.5" OC	5/8"Ø AB @ 2'-6" OC	2x	595
2SW4	15/32" BOTH SIDES	(2) 2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 4" OC	LTP4 OR A35 @ 10" OC	0.131"Ø x 3" @ 2" OC	5/8"Ø AB @ 2'-0" OC	2x	706
2SW3	15/32" BOTH SIDES	(2) 2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 3" OC	LTP4 OR A35 @ 7.5" OC	0.131 x 3" @ 1.5" OC	5/8"Ø AB @ 1'-6" OC	2x	910
2SW2	15/32" BOTH SIDES	3x STUD AND BLKG	0.131"Ø x 2 1/2" @ 2" OC	LTP4 OR A35 @ 6" OC	0.131 x 3" @ 1.5" OC	5/8"Ø AB @ 1'-0" OC	2x	1190

NOTES:
 1. REFER TO THE TYPICAL SHEAR WALL DETAIL.
 2. THE VALUES IN THIS TABLE ARE APPROPRIATE FOR HF GRADE STUDS AND HF GRADE PLATES & RIM/BLOCKING.
 3. NAILS AT ADJOINING PANEL EDGES SHALL BE STAGGERED EACH SIDE OF THE COMMON JOINT.
 4. WHERE PANELS ARE APPLIED ON BOTH FACES OF A WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS, OR FRAMING SHALL BE 3x AT ADJOINING PANEL EDGES AND NAILS SHALL BE STAGGERED.
 5. WHERE TABLE SPECIFIES (2) 2x FRAMING, CONNECT (2) 2x STUDS AND BLOCKING AS FOLLOWS: SW3 = (2) 0.131"Ø @ 3.5" OC, 2SW4 = 0.131"Ø @ 2.5" OC, 2SW3 = (2) 0.131"Ø @ 1.5" OC.
 6. NOTE THAT 3x FRAMING MAY BE USED IN LIEU OF (2) 2x FRAMING SPECIFIED IN TABLE.
 7. INTERMEDIATE FRAMING TO BE WITH 2x MINIMUM MEMBERS, FIELD NAILING 12" OC MAXIMUM.
 8. AT ALL 5/8"Ø SILL PLATE ANCHOR BOLTS, INSTALL 1/4" x 3" x 3" PLATE WASHERS, EDGE OF PLATE WASHER SHALL BE WITHIN 1/2" OF SHEATHED EDGE. FOR DOUBLE SIDED SHEAR WALLS, USE WIDER PLATE WASHERS AS REQUIRED TO MEET THIS REQUIREMENT.
 9. PROVIDE A MINIMUM OF 7" EMBEDMENT FOR AB INTO FOUNDATION OR STEM WALL.
 10. 7/16" SHEATHING MAY BE USED IN PLACE OF 15/32" SHEATHING PROVIDED ALL STUDS ARE SPACED 16" OC OR PANELS ARE APPLIED WITH LONG DIMENSION ACROSS STUDS.

BEAM SCHEDULE

MARK	BEAM	REMARKS	HANGER AS REQ'D
BM1	4x10 HF#2	-	-
BM2	3 1/2 x 9 1/2 2.0E PSL	SEE NOTE 5	-
BM3	5 1/4 x 9 1/2 2.0E PSL	SEE NOTE 5	-
BM4	5 1/4 x 11 1/4 2.0E PSL	SEE NOTE 5	-
BMS	5 1/4 x 18 2.0E PSL	SEE NOTE 5	-
WF	ALL WF BEAMS CALLED OUT ON PLAN	-	-

NOTES:
 1. REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR HANGER INSTALLATION INFORMATION.
 2. REFER TO FRAMING PLANS AND NOTES FOR SUPPORTS AT BEAM ENDS.
 3. ALL BEAMS EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 4. REFER TO PLAN NOTES FOR BEAMS & HEADERS AT BEARING LOCATIONS THAT ARE NOT CALLED OUT.
 5. IF PSL SUPPLIER DOES NOT STOCK EXACT DEPTH OF BEAMS LISTED, CONTRACTOR SHALL COORDINATE WITH SUPPLIER TO RIP BEAMS TO EXACT DIMENSIONS LISTED ON TABLE.

JOIST SCHEDULE

MARK	JOIST	SPACING	REMARKS
FJ1	2x12 HF#2	16" OC	SEE NOTE 1
FJ2	1 3/4" x 11 7/8" LVL	16" OC	-
FJ3	16" TJI 110	16" OC	SEE NOTE 1
FJ4	2x10 HF#2	16" OC	SEE NOTE 1

NOTES:
 1. FOR JOIST HANGERS REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR ALL INSTALLATION REQUIREMENTS.
 2. TIMBER JOISTS FRAMING INTO WOOD BEAMS SHALL USE LUS OR SLOPED LSSU FACE MOUNT HANGERS.

COLUMN SCHEDULE

MARK	COLUMN SIZE 2x4 WALL	COLUMN SIZE 2x6 WALL	REMARKS
C1	(2) 2x4	(2) 2x6	SEE NOTE 2
C2	(3) 2x4	(3) 2x6	SEE NOTE 2
C3	(4) 2x4	(4) 2x6	SEE NOTE 2
C4	4x6 HF#1	4x6 HF#1	-
C5	4x8 HF#1	6x6 DF#1	-
C6	4x10 HF#1	6x8 DF#1	-
C7	-	5 1/4 x 5 1/4 1.8E PSL	-

NOTES:
 1. REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR PRE-FABRICATED CONNECTION INSTALLATION REQUIREMENTS.
 2. MULTIPLE STUD COLUMNS SHALL USE GRADE OF STUD INDICATED ON WALL FRAMING SCHEDULE. REFER TO DETAIL 3/SS.1 FOR FABRICATION OF MULTIPLE STUD COLUMNS.
 3. CONTRACTOR TO PROVIDE BLOCKING EQUAL TO COLUMN DIMENSIONS AT JOIST SPACE FOR COLUMNS CONTINUING TO FOUNDATION.

HOLDOWN SCHEDULE

MARK	TYPE	MIN CHORD SIZE	STUD NAILS OR BOLTS	ANCHOR BOLT (SEE NOTE 4)	CAPACITY (LB)
1	HDU5	(2) 2x	(14) SDS 1/4" x 2 1/2" SCREWS	5/8"Ø	4,340
2	MST48	(2) 2x	(17) 16d EA END	-	3,640

NOTES:
 1. REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR ADDITIONAL INSTALLATION REQUIREMENTS.
 2. INSTALL HD HOLDOWNS AT FOUNDATION WALLS OR THICKENED SLAB FOOTINGS PER DETAIL 4/S4.1.
 3. AT ALL HOLDOWN CHORDS, PROVIDE PANEL EDGE NAILING PER SHEAR WALL SCHED.
 4. REFER TO DETAIL 8/SS.1 FOR FLOOR TO FLOOR MST STRAPS. REFER TO DETAIL 9/SS.1 FOR MST STRAP CONNECTION TO BEAM/HEADER.

FOOTING SCHEDULE

MARK	FOOTING SIZE	REINFORCING	COMMENTS
F1	1'-2" x 0'-10" DEEP x CONTINUOUS	(3) #4 CONTINUOUS	-
F2	2'-0" x 2'-0" x 0'-10" DEEP	(3) #4 EACH WAY BOTTOM	-
F3	3'-0" x 3'-0" x 0'-10" DEEP	(4) #4 EACH WAY BOTTOM	-

NOTES:
 1. ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED NATIVE SOIL OR COMPACTED STRUCTURAL FILL.
 2. REINFORCEMENT SHALL BE CONTINUED FROM CONTINUOUS FOOTINGS THRU SPREAD FOOTINGS WHERE APPLICABLE.

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 MERCER ISLAND, WA 98040
SCHEDULES

SHEET:



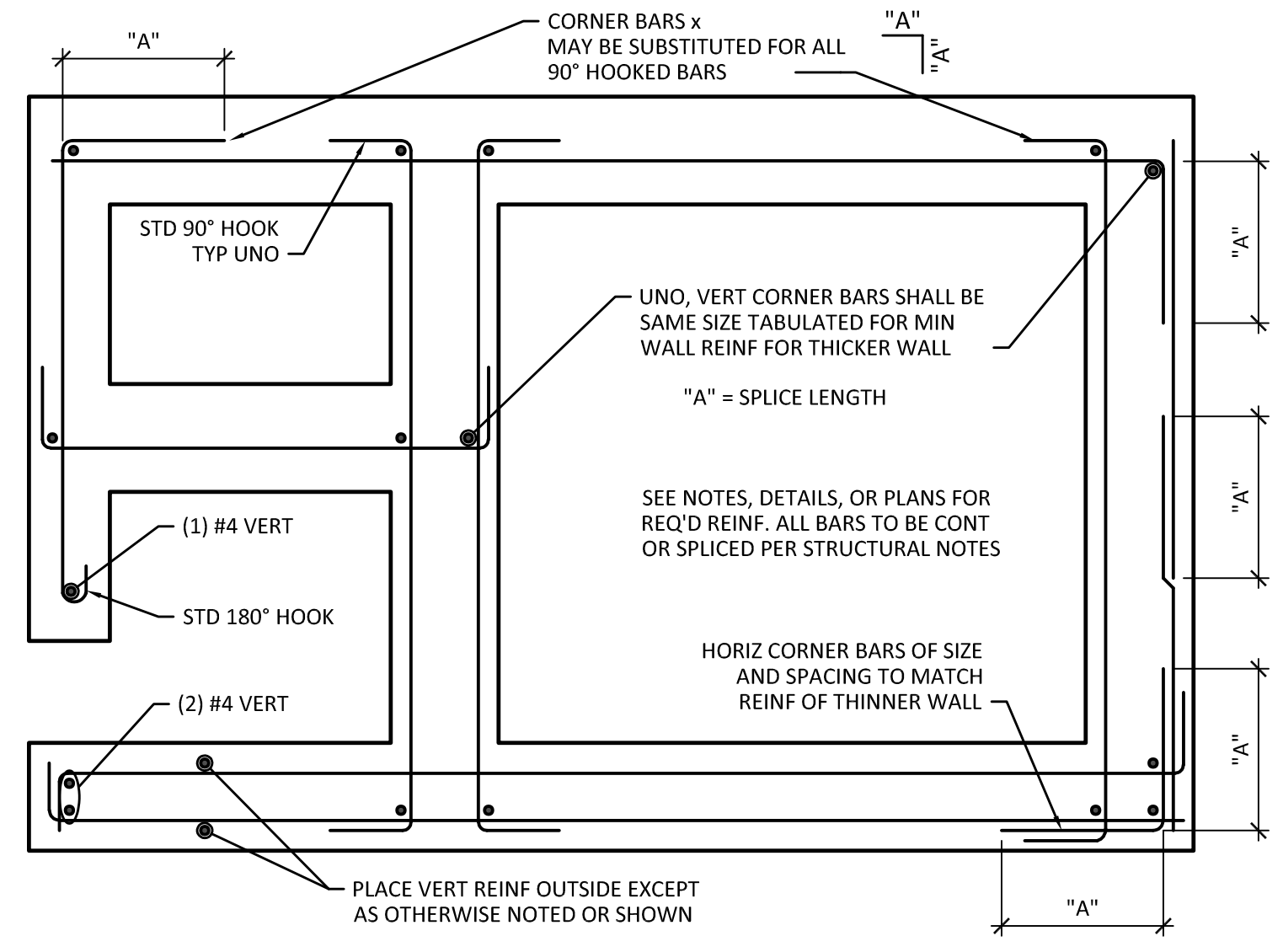
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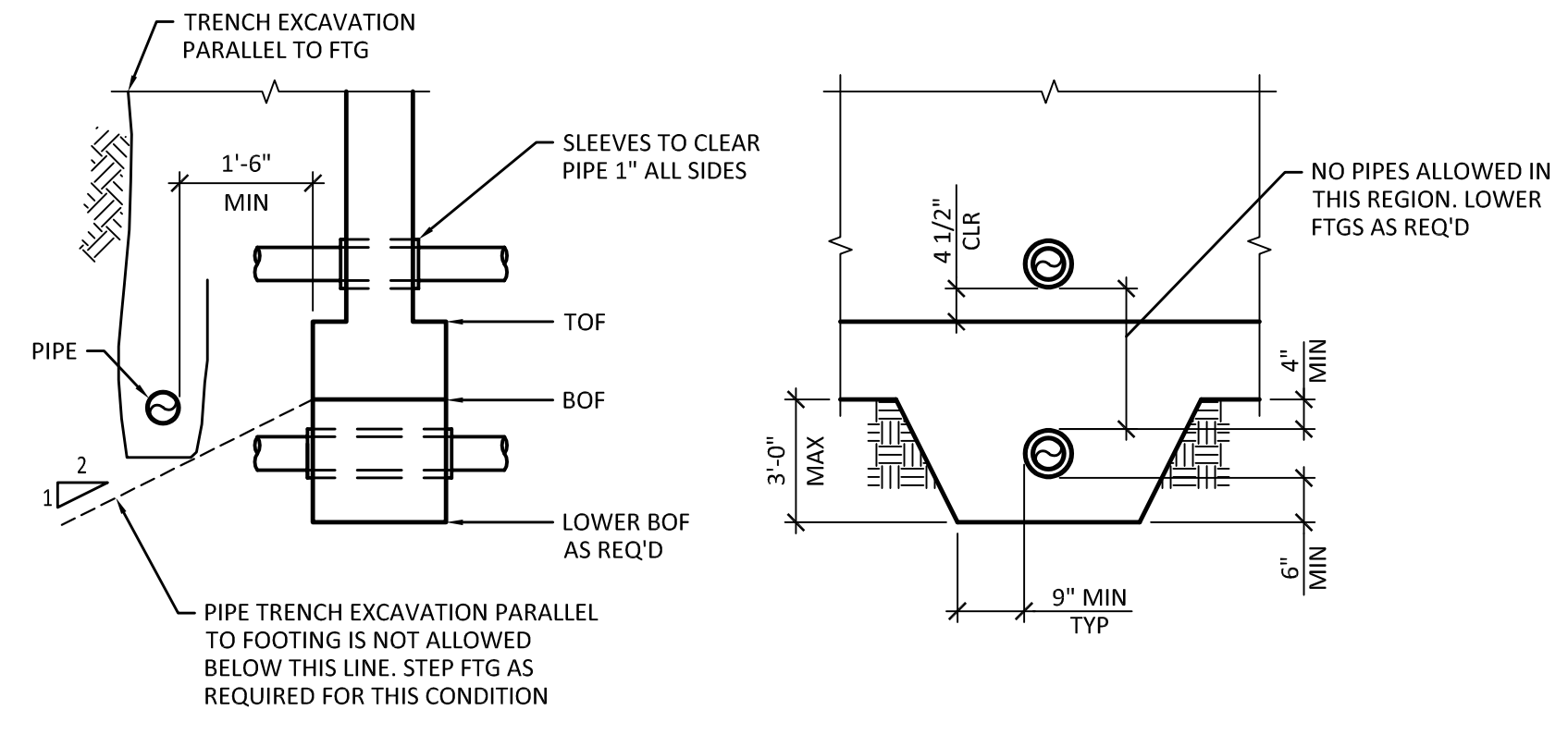
BRUMBAUGH RESIDENCE
 4124 83RD AVE SE
 MERCER ISLAND, WA 98040

FOUNDATION DETAILS

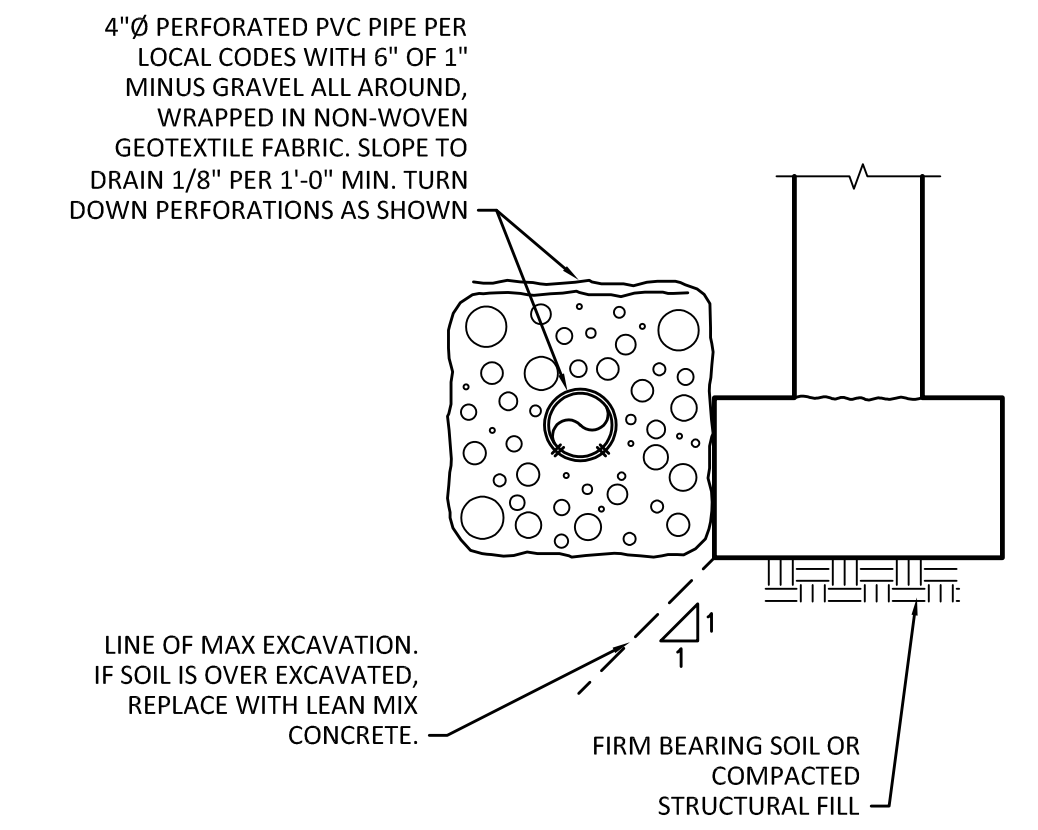
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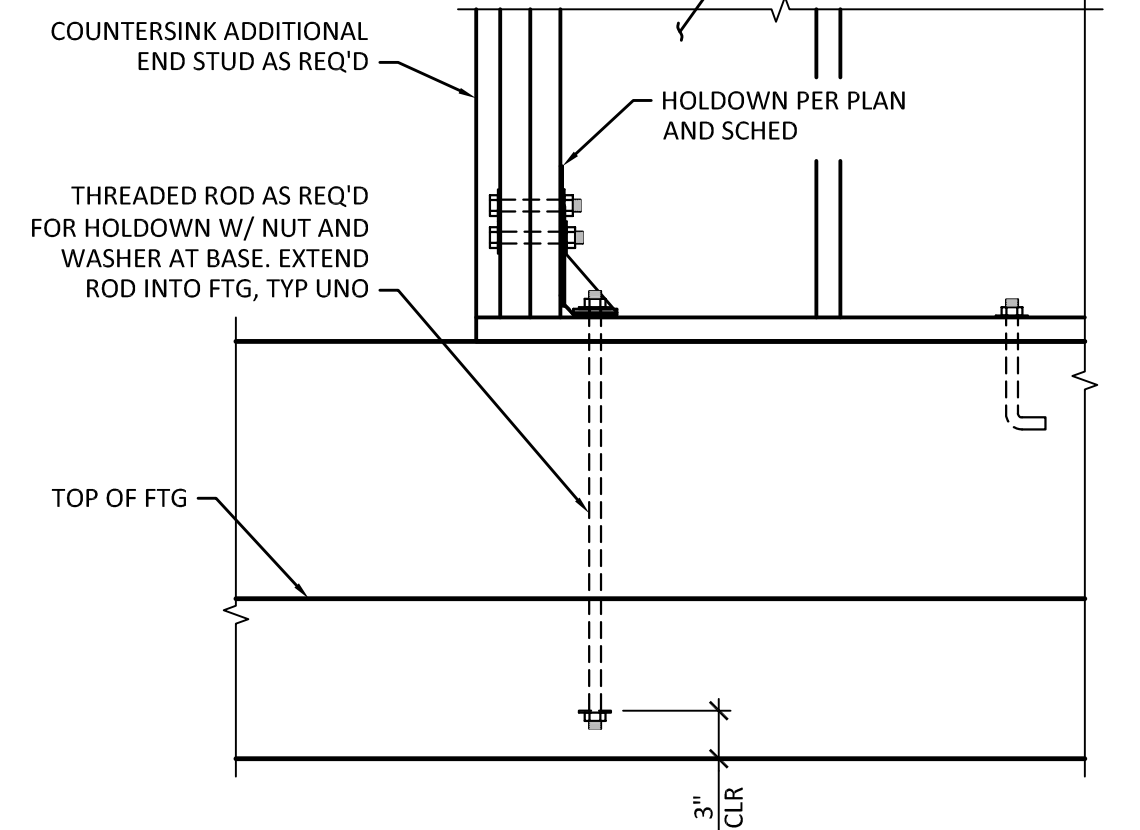
1 TYPICAL CONCRETE WALL REINFORCING DETAIL
 SCALE: NTS



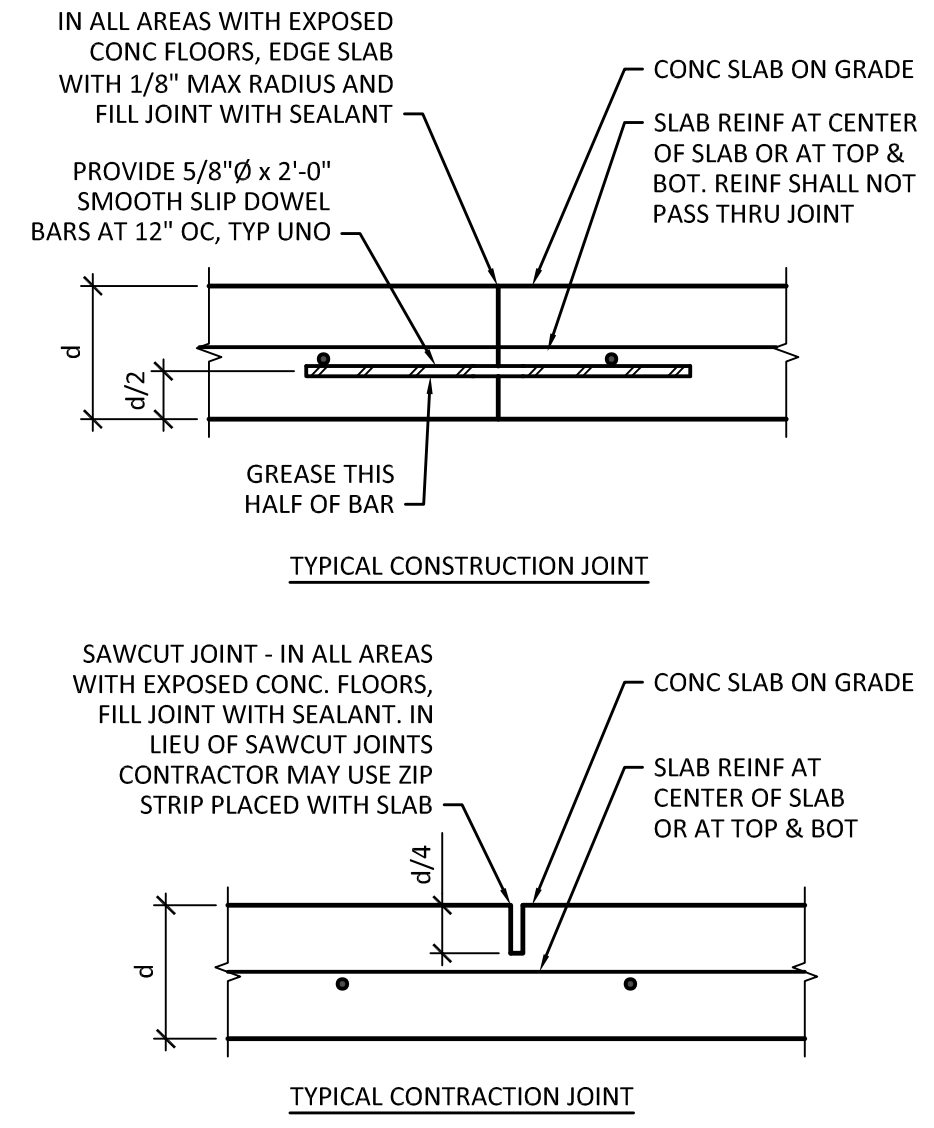
2 TYPICAL PIPE PENETRATION AT WALLS AND FOOTINGS
 SCALE: 1/2" = 1'-0"



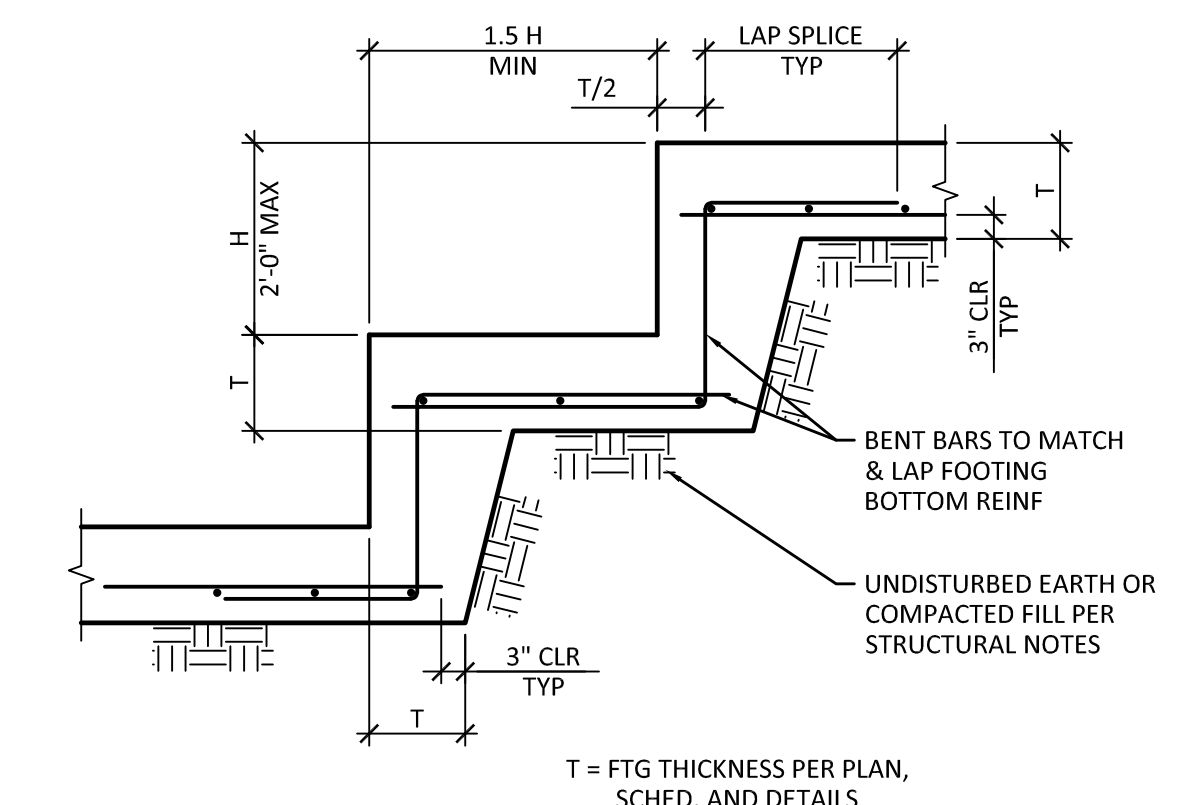
3 TYPICAL FOOTING DRAIN
 SCALE: 1" = 1'-0"



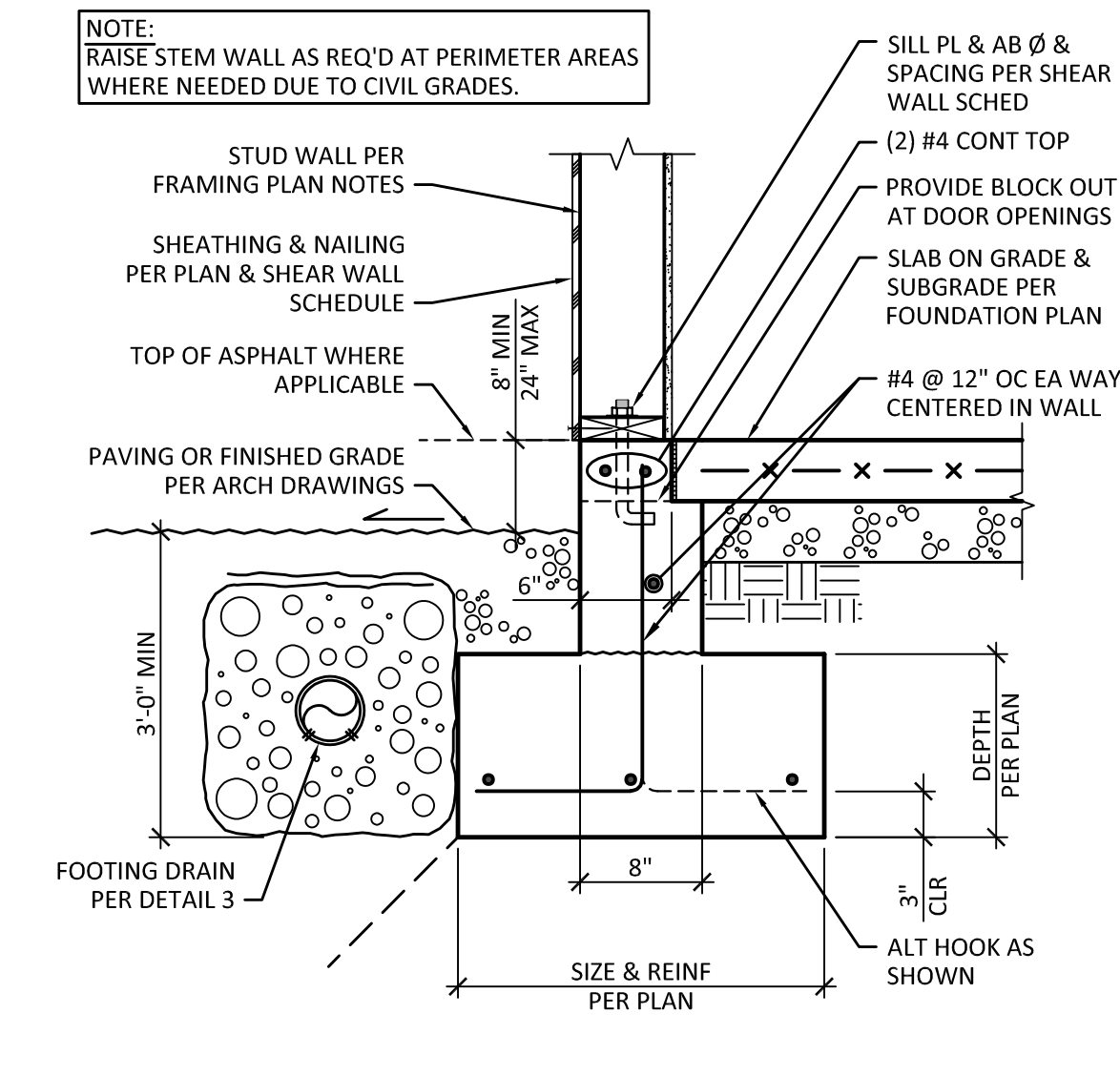
4 HOLDOWN DETAIL
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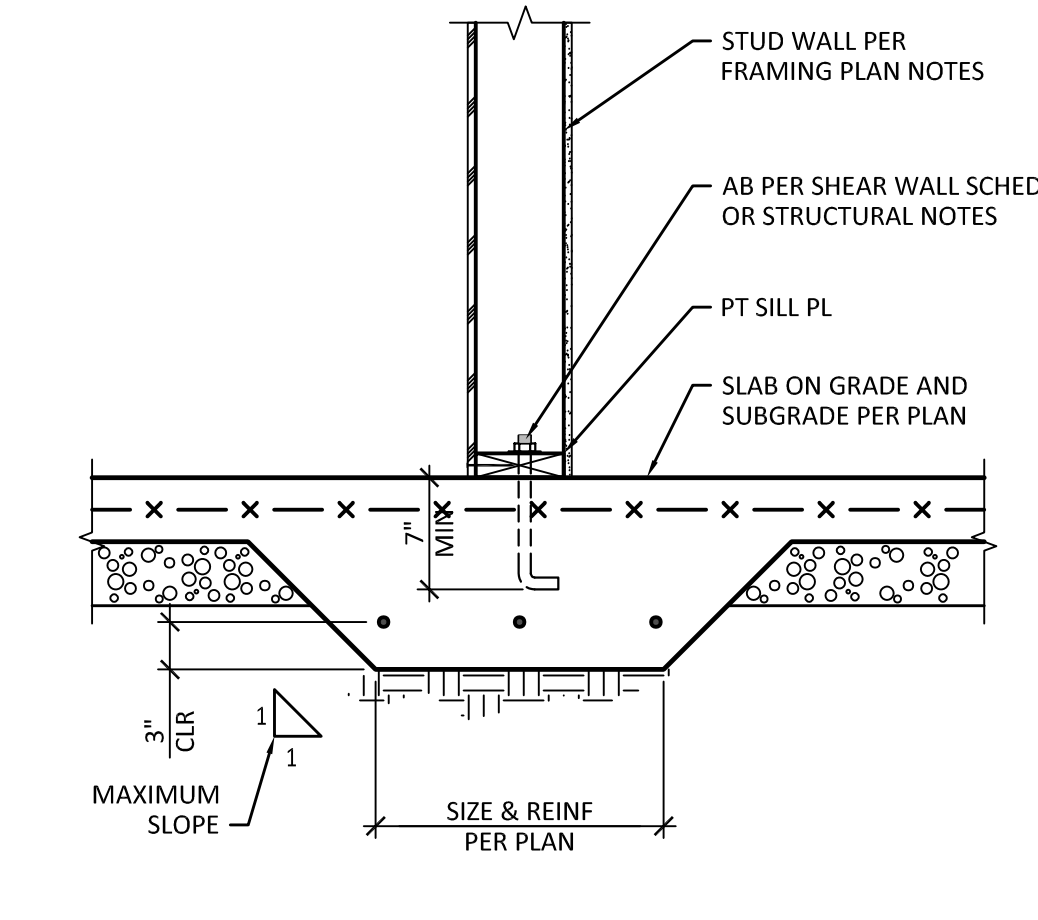
5 TYPICAL SLAB ON GRADE DETAILS
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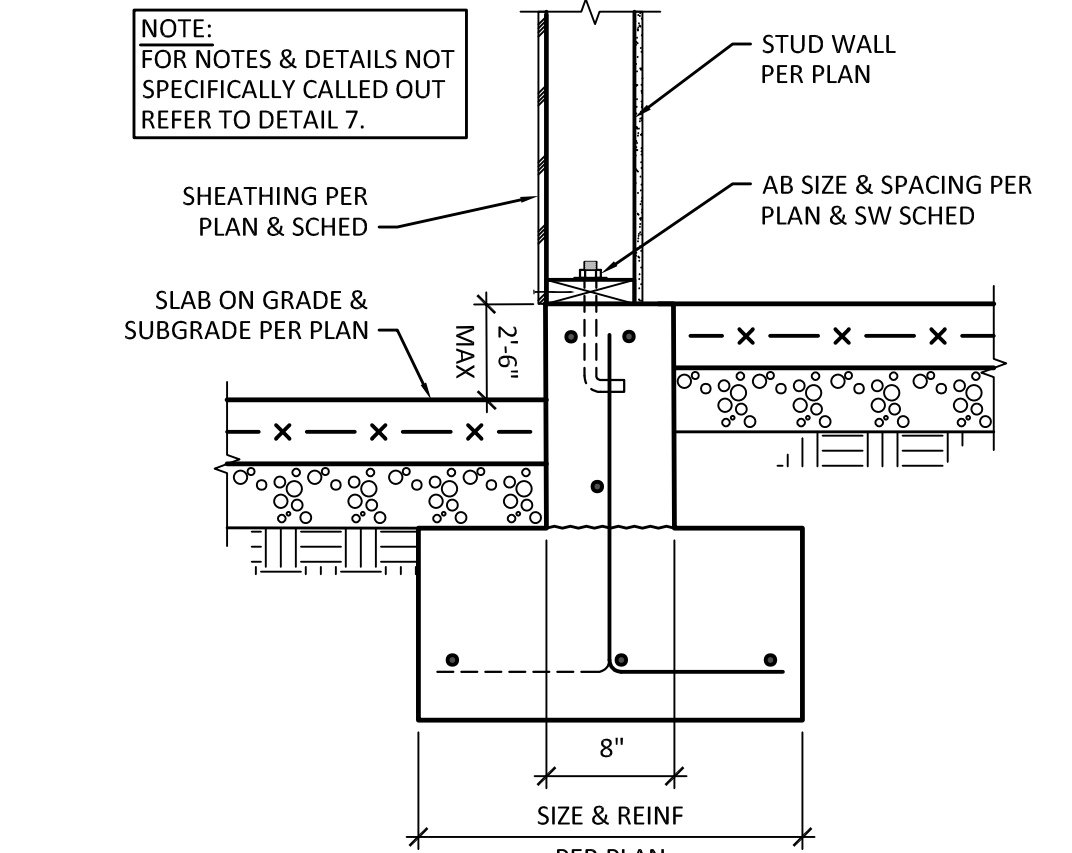
6 TYPICAL STEPPED WALL FOOTING
 SCALE: 1/2" = 1'-0"



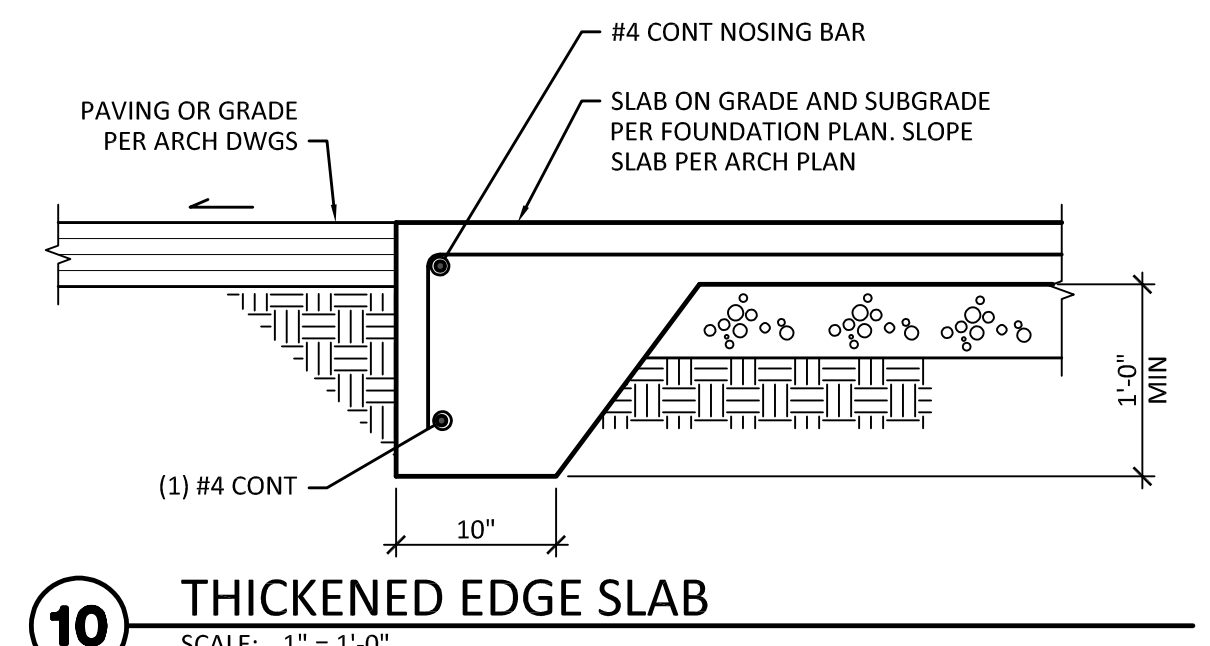
7 TYPICAL STEM WALL DETAIL
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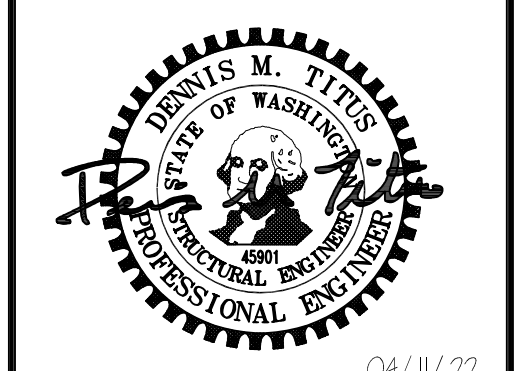
8 CONTINUOUS FOOTING DETAIL
 SCALE: 1" = 1'-0"



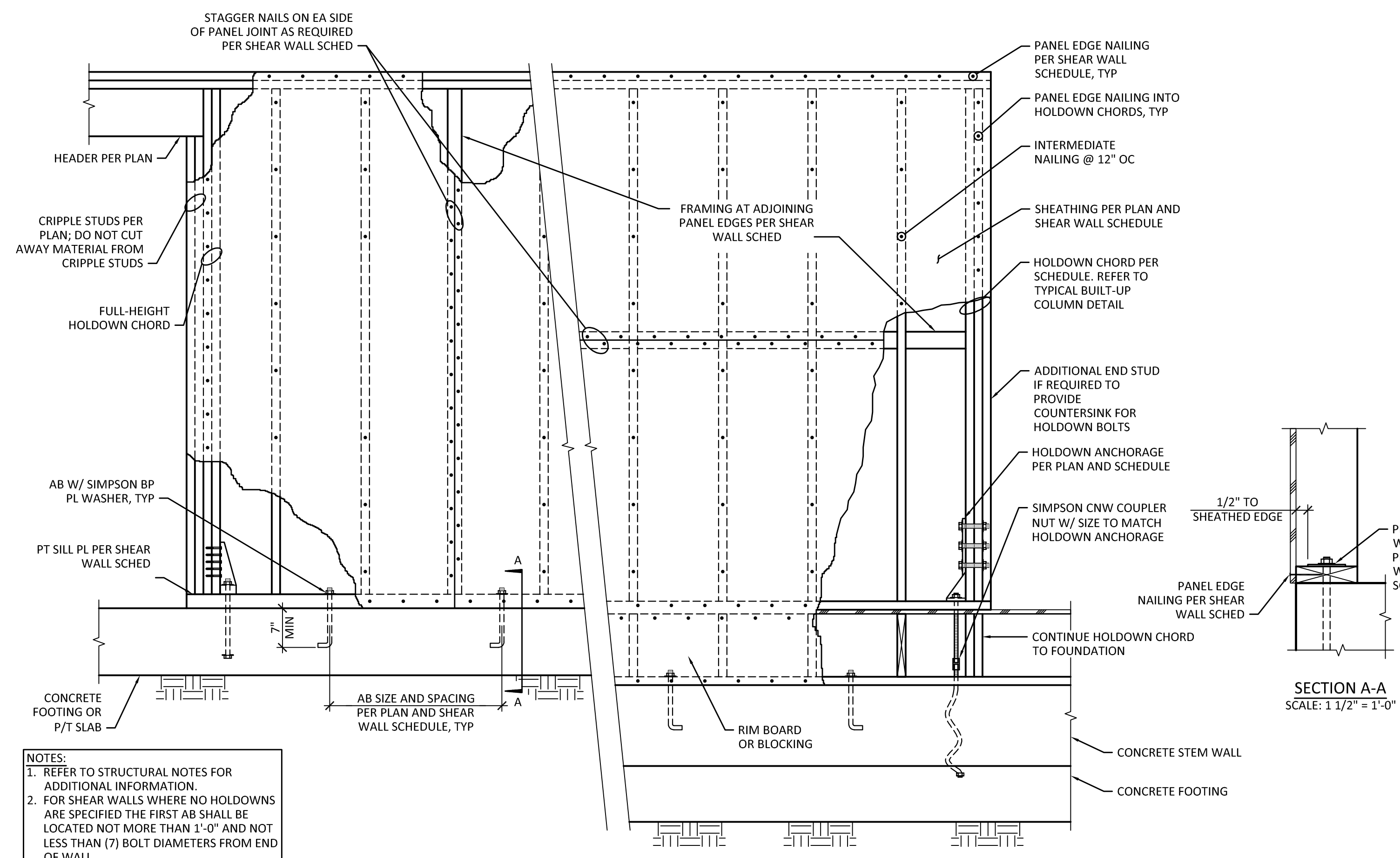
9 GARAGE WALL FOUNDATION
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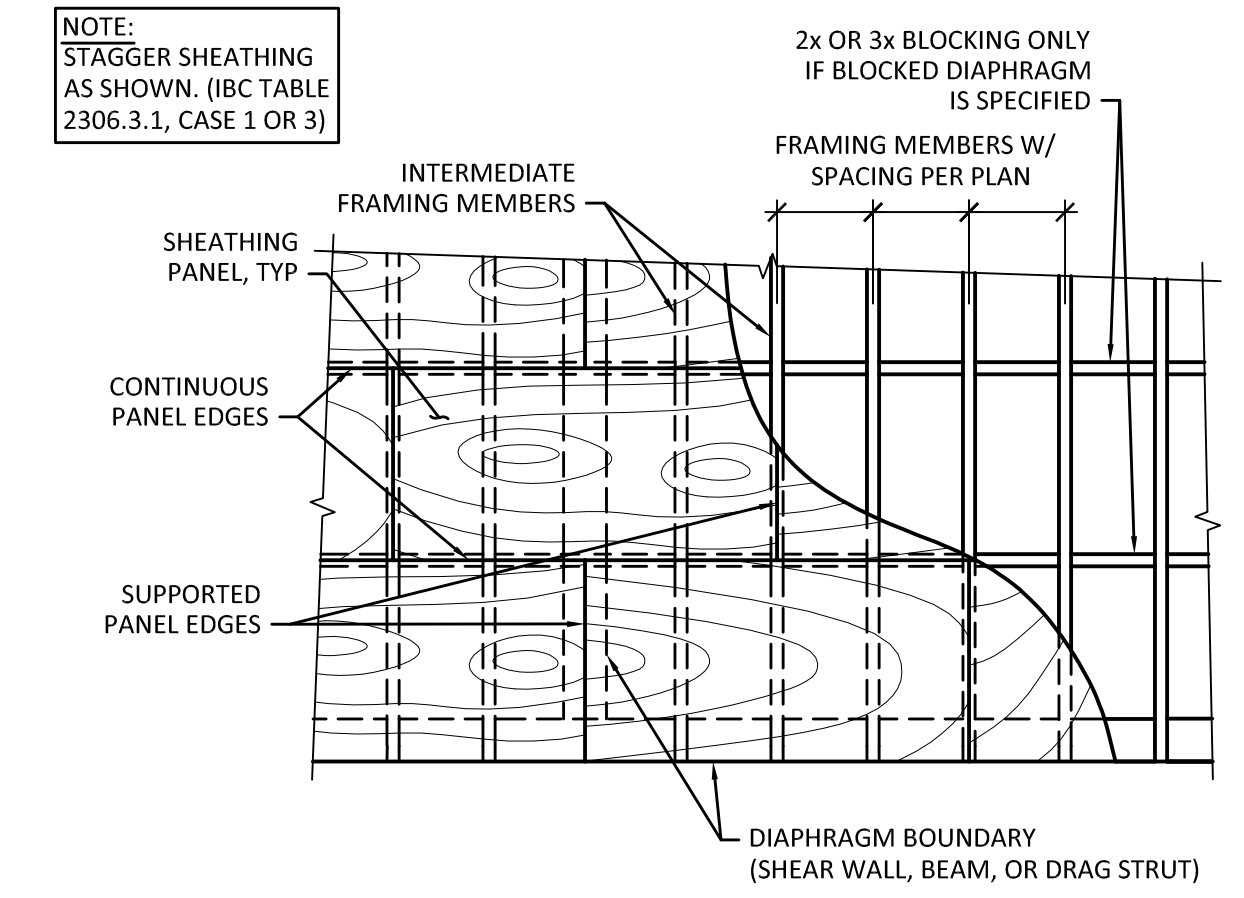
10 THICKENED EDGE SLAB
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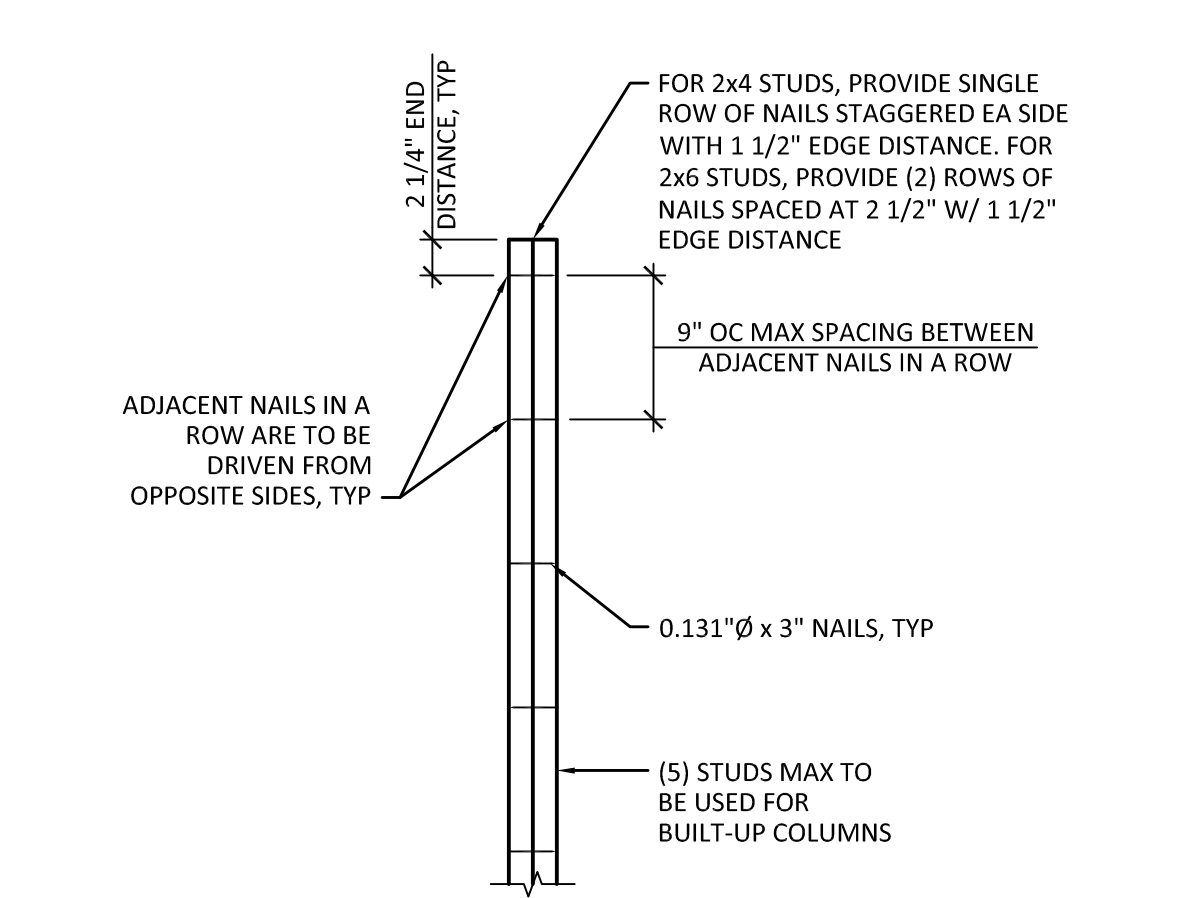
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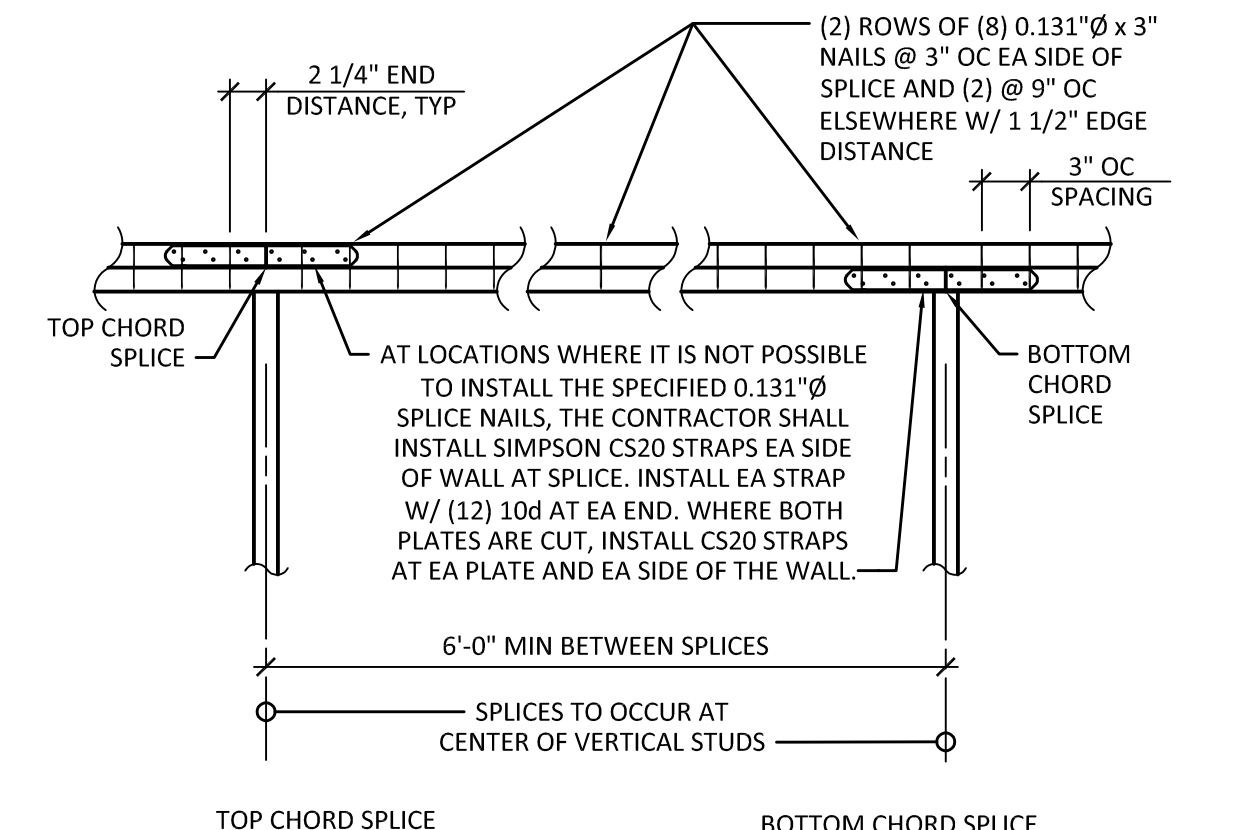
1 TYPICAL SHEAR WALL DETAIL
SCALE: 3/4" = 1'-0"



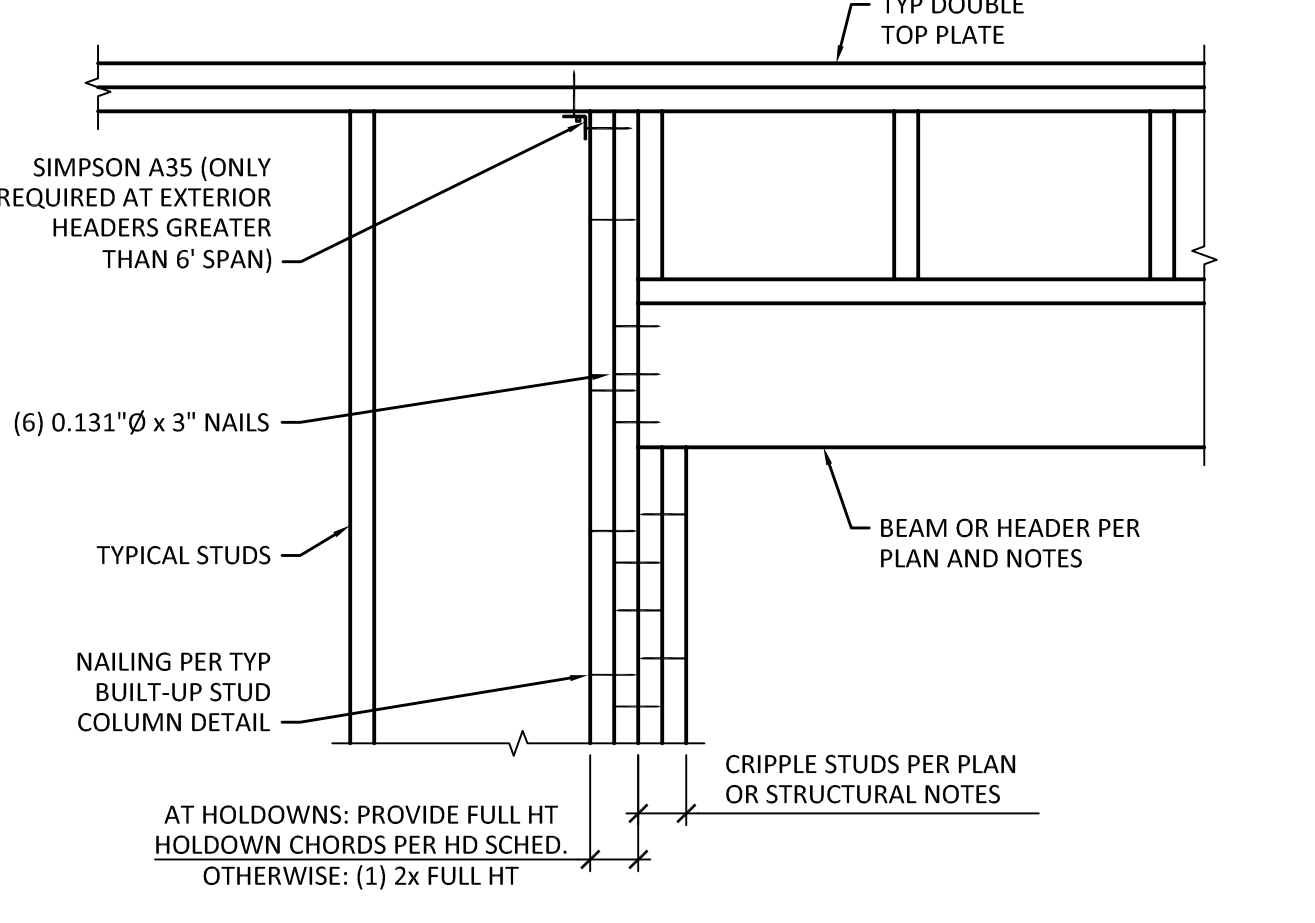
2 TYPICAL FLOOR/ ROOF SHEATHING DETAIL
SCALE: NTS



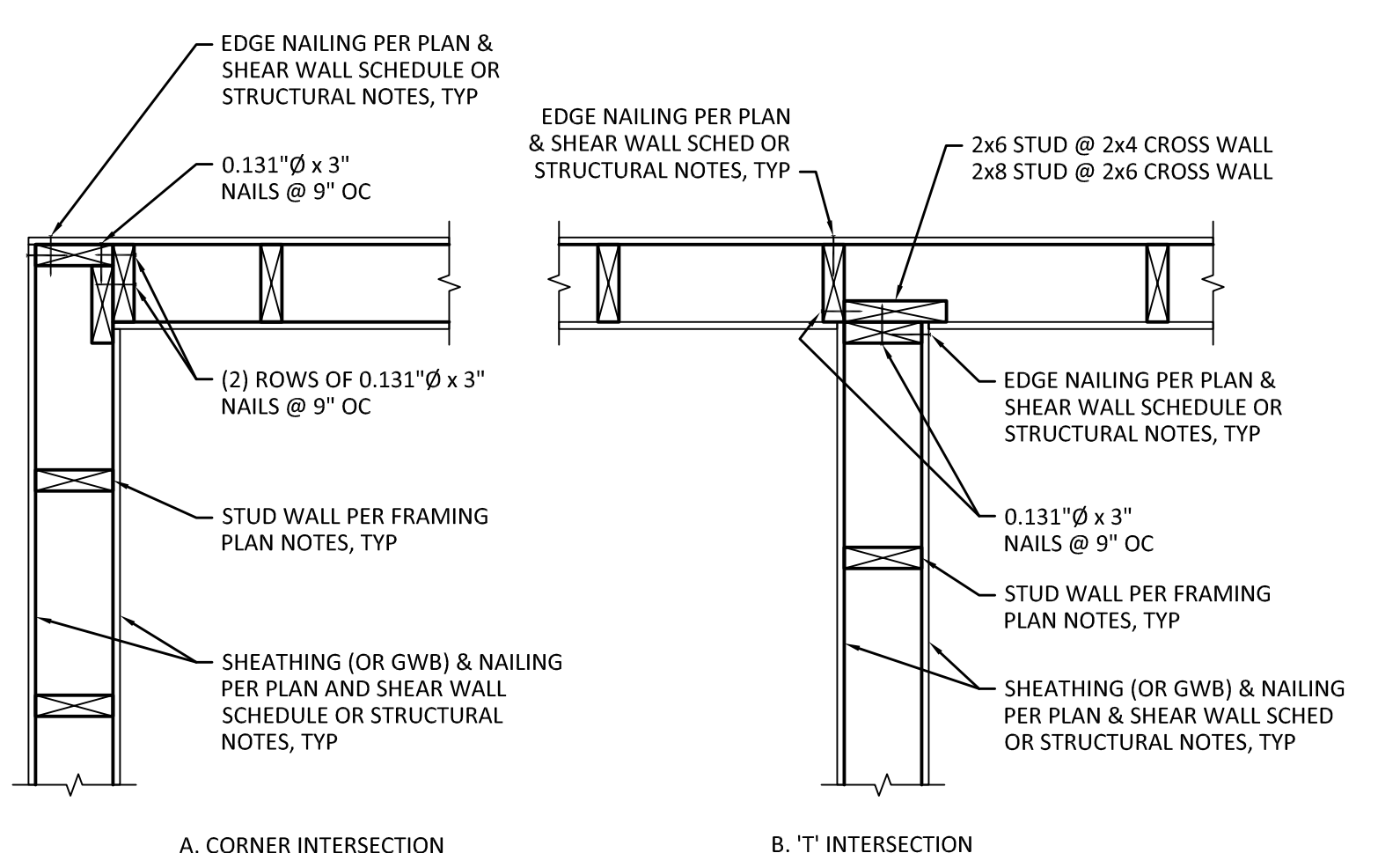
3 TYPICAL BUILT-UP STUD COLUMN DETAIL
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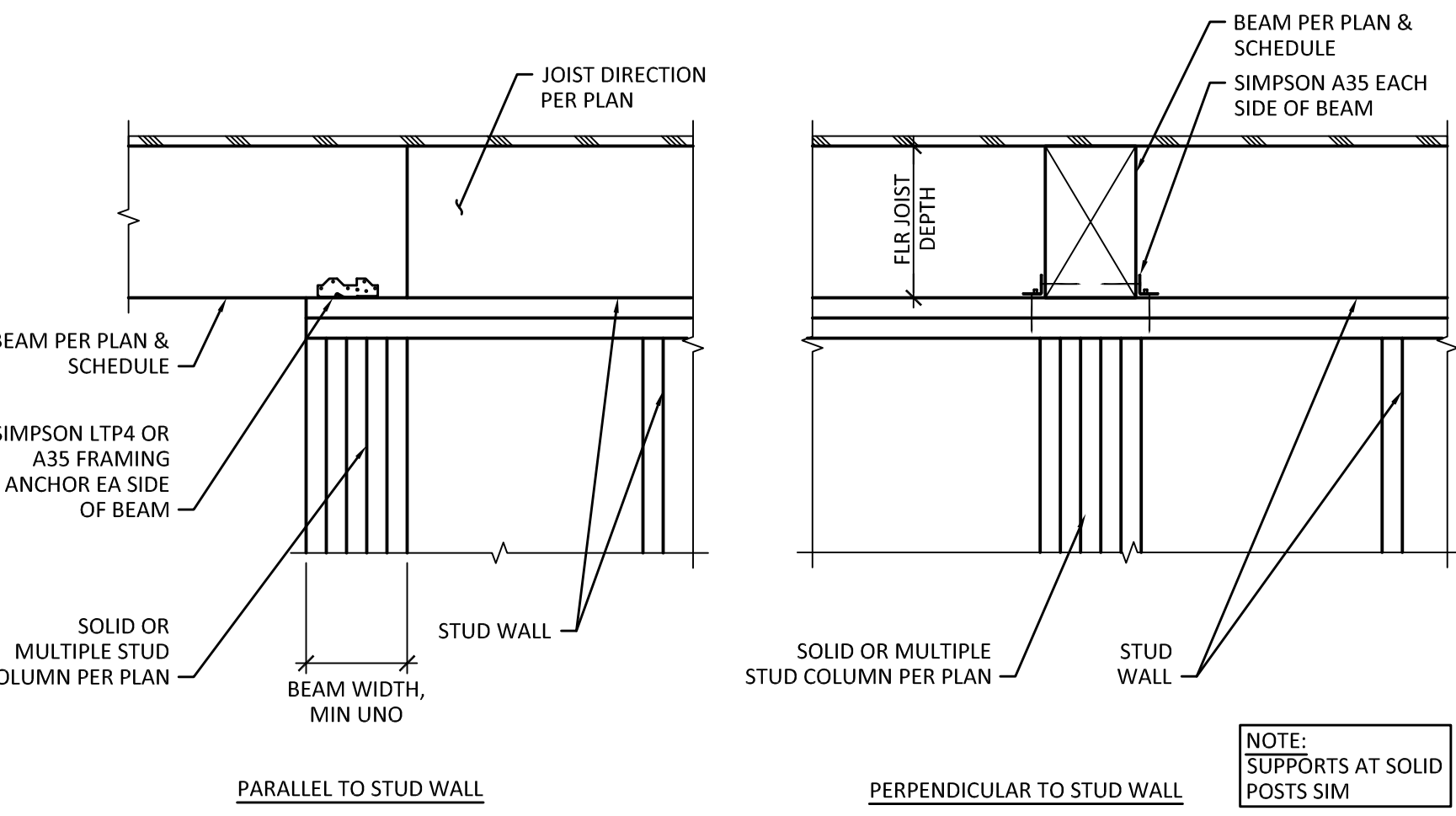
4 TYPICAL TOP PLATE SPLICE DETAIL
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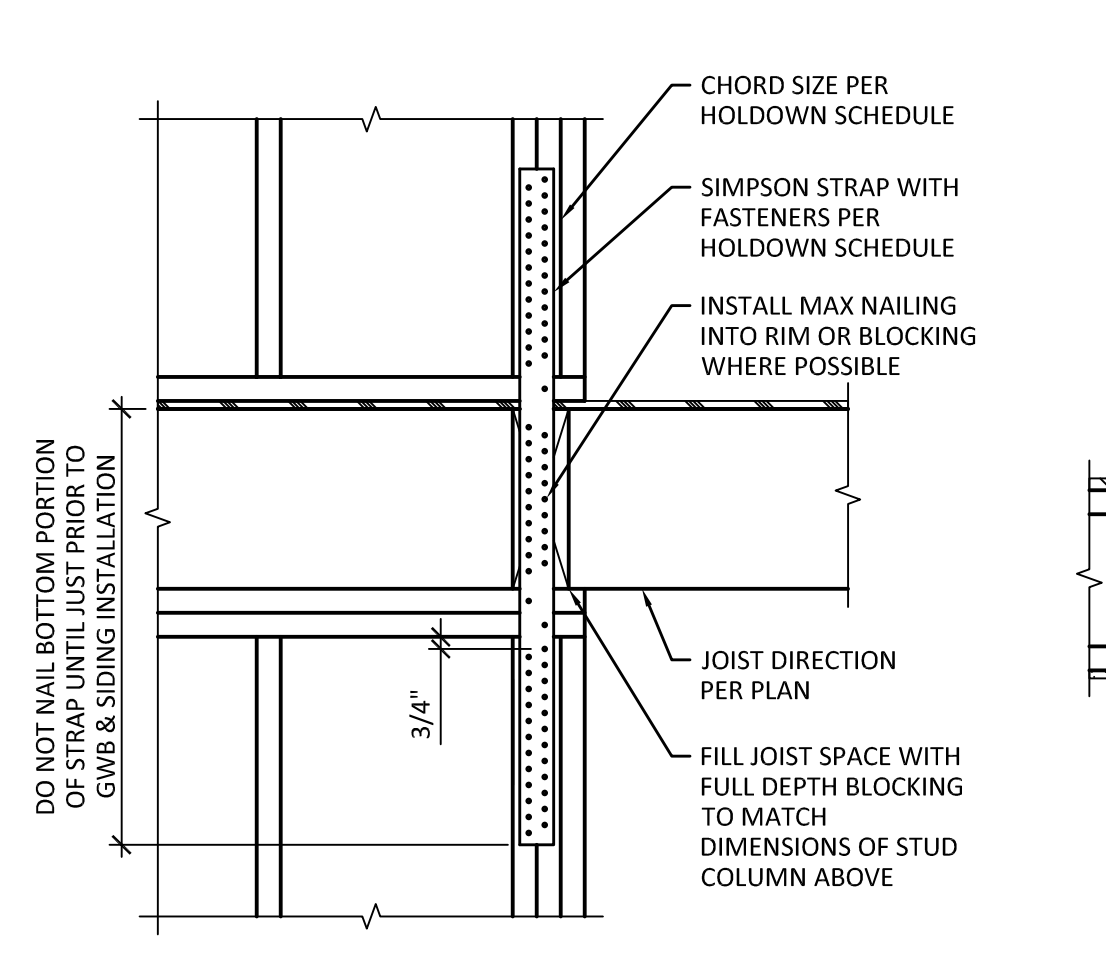
5 TYPICAL HEADER DETAIL
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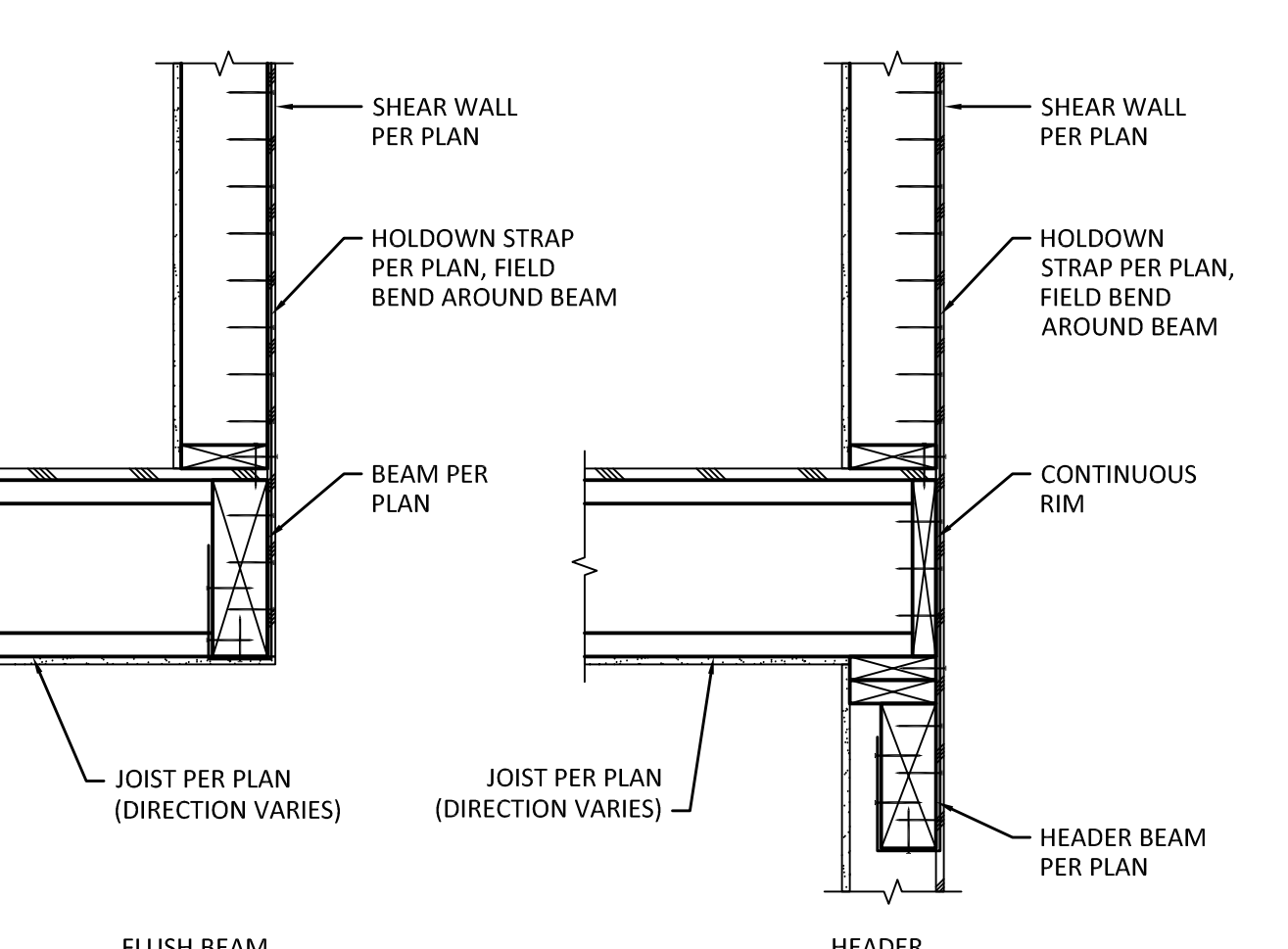
6 TYPICAL WALL INTERSECTION DETAIL
SCALE: 1" = 1'-0"



7 TYPICAL FLUSH BEAM SUPPORT DETAILS
SCALE: 1" = 1'-0"



8 TYPICAL STRAP HOLDOWN DETAIL
SCALE: 1" = 1'-0"



9 TYPICAL STRAP HOLDOWN TO WOOD BEAM
SCALE: 1" = 1'-0"

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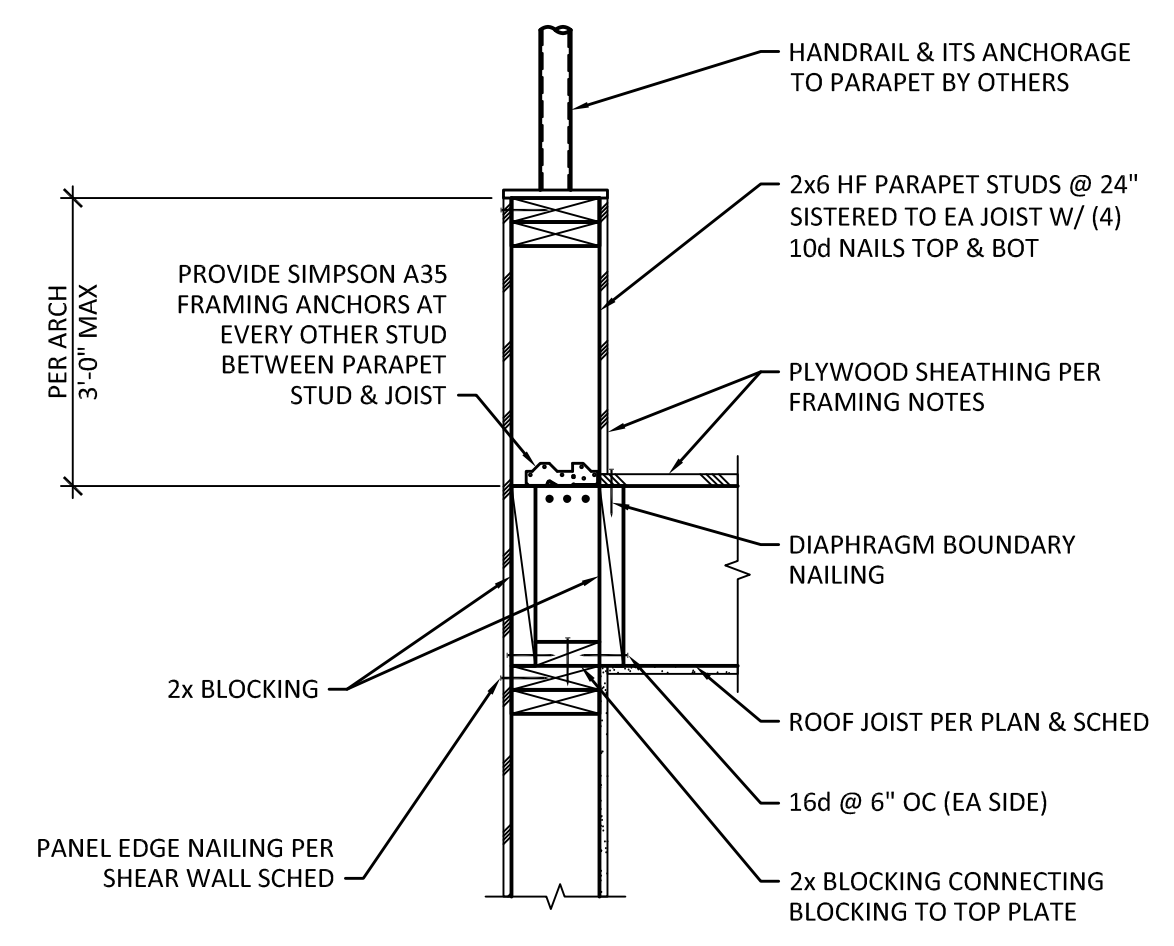
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 4124 83RD AVE SE
 MERCER ISLAND, WA 98040

WOOD FRAMING DETAILS

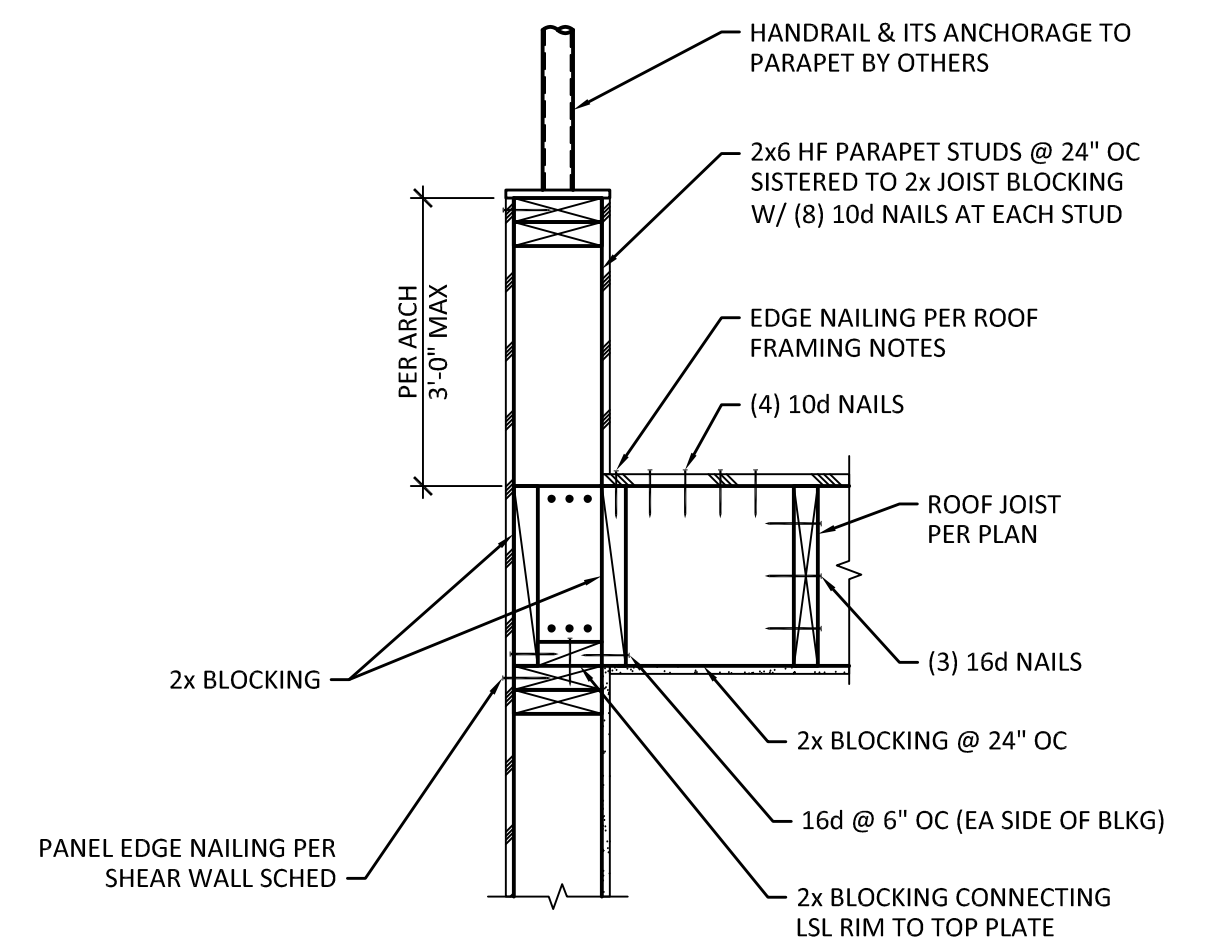
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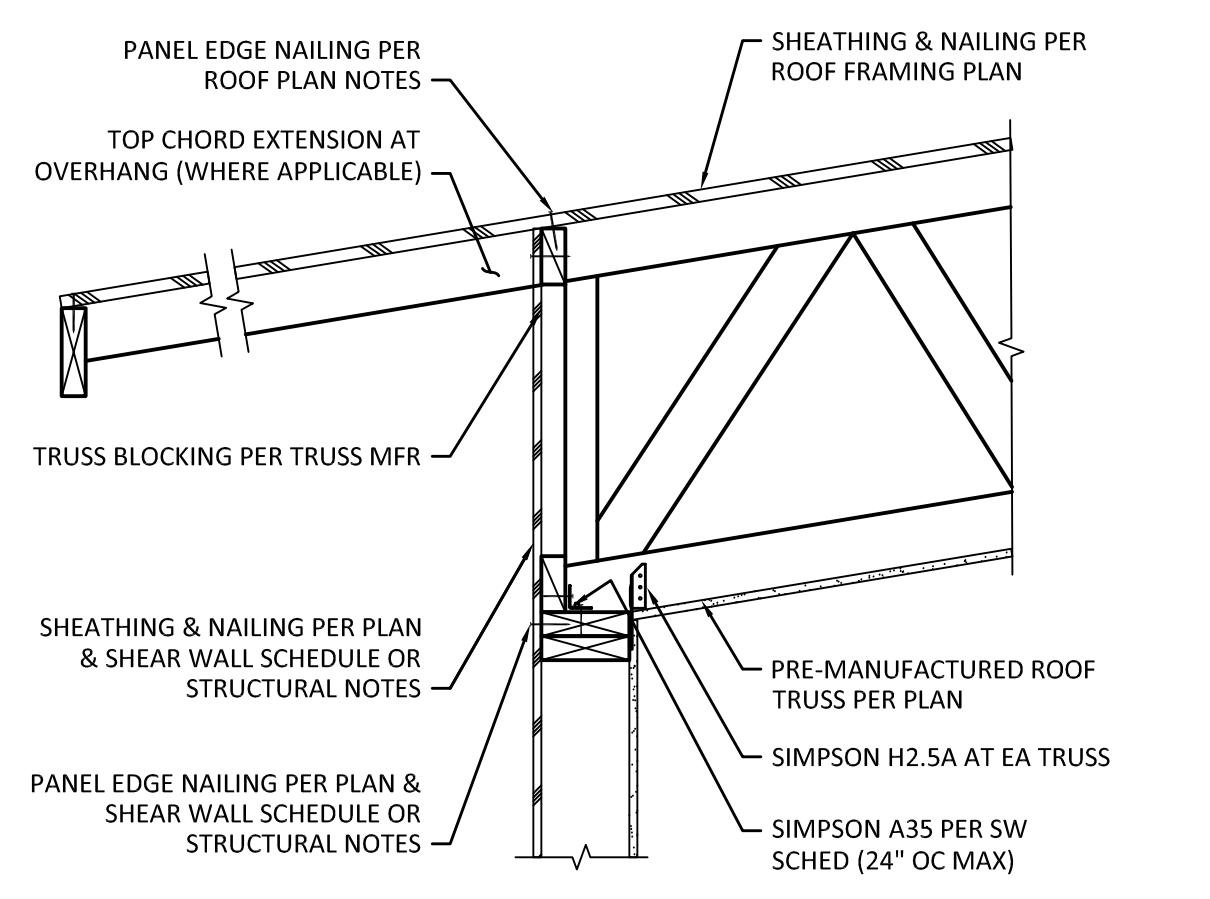
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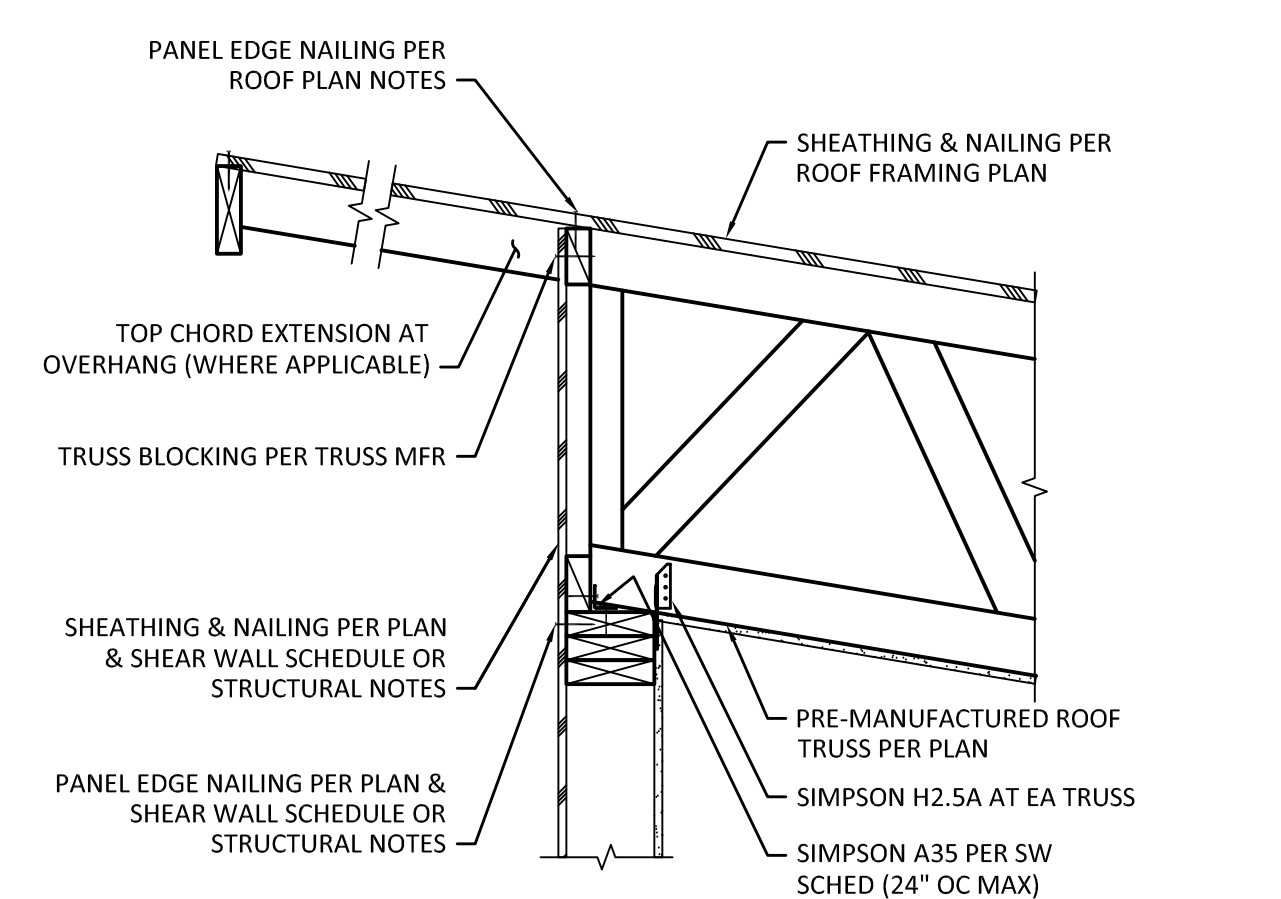
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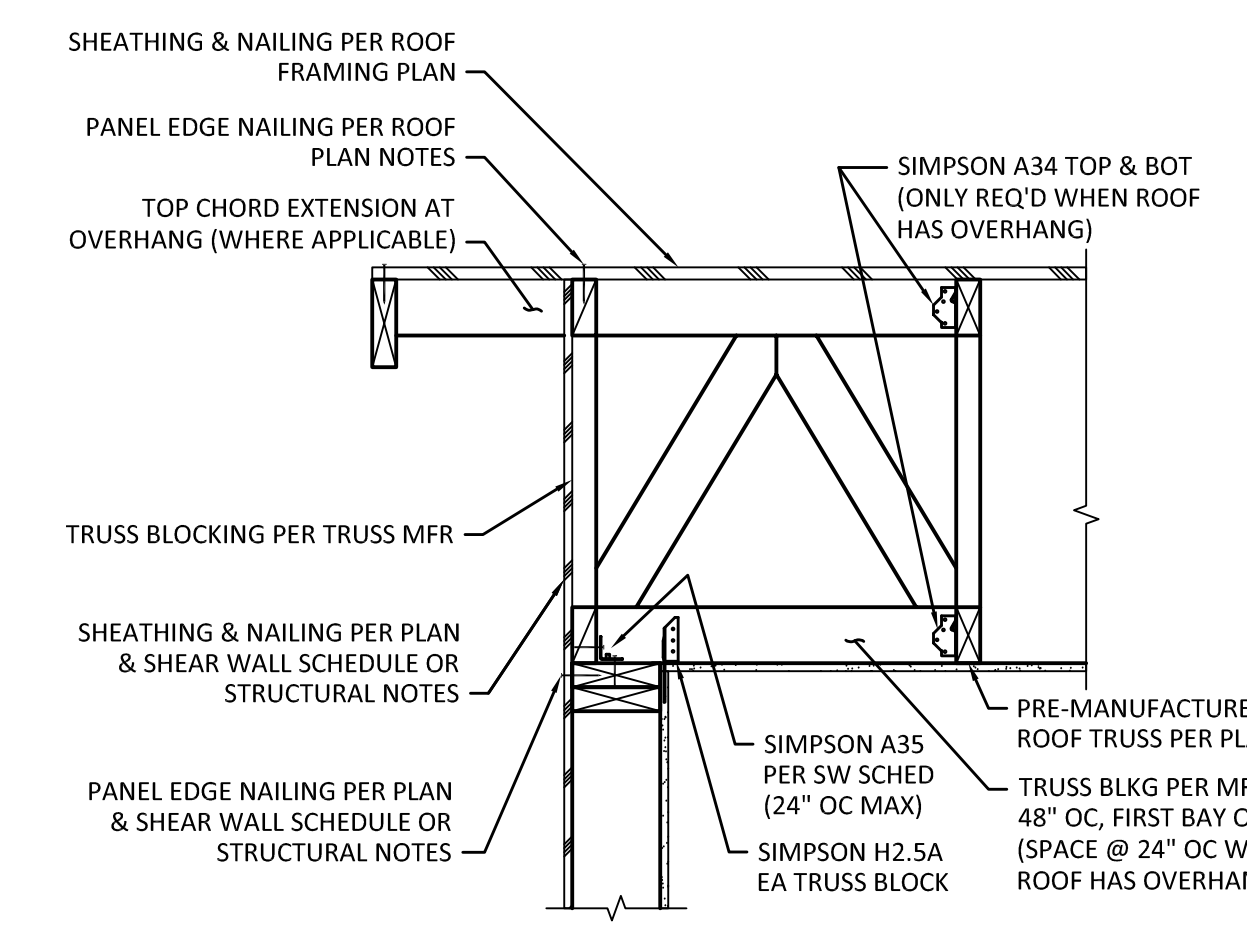
2 FLAT ROOF SECTION W/ PARAPET (NON-BEARING)
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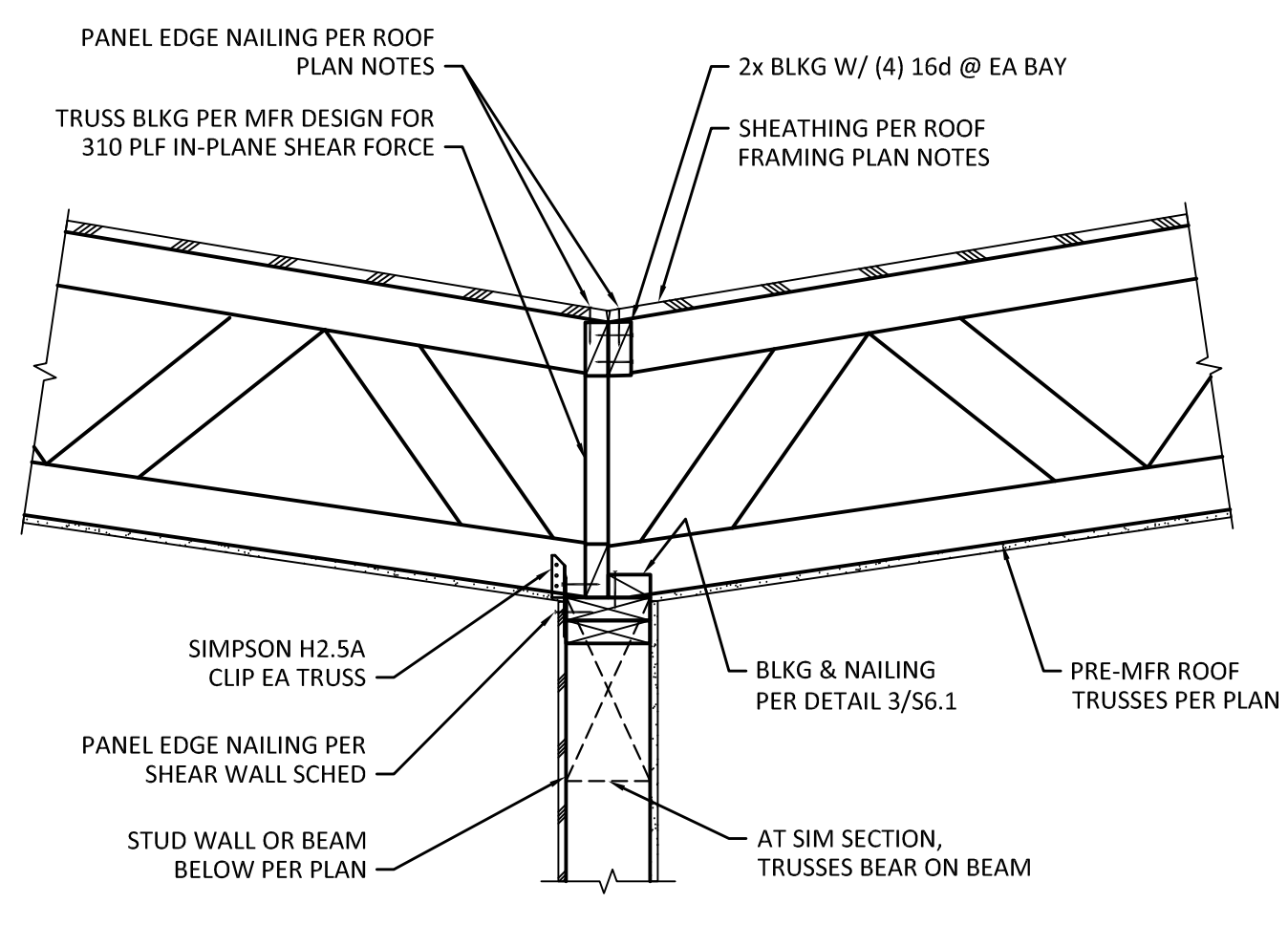
3 PARALLEL CHORD TRUSS FRAMING (BEARING)
 SCALE: 1" = 1'-0"



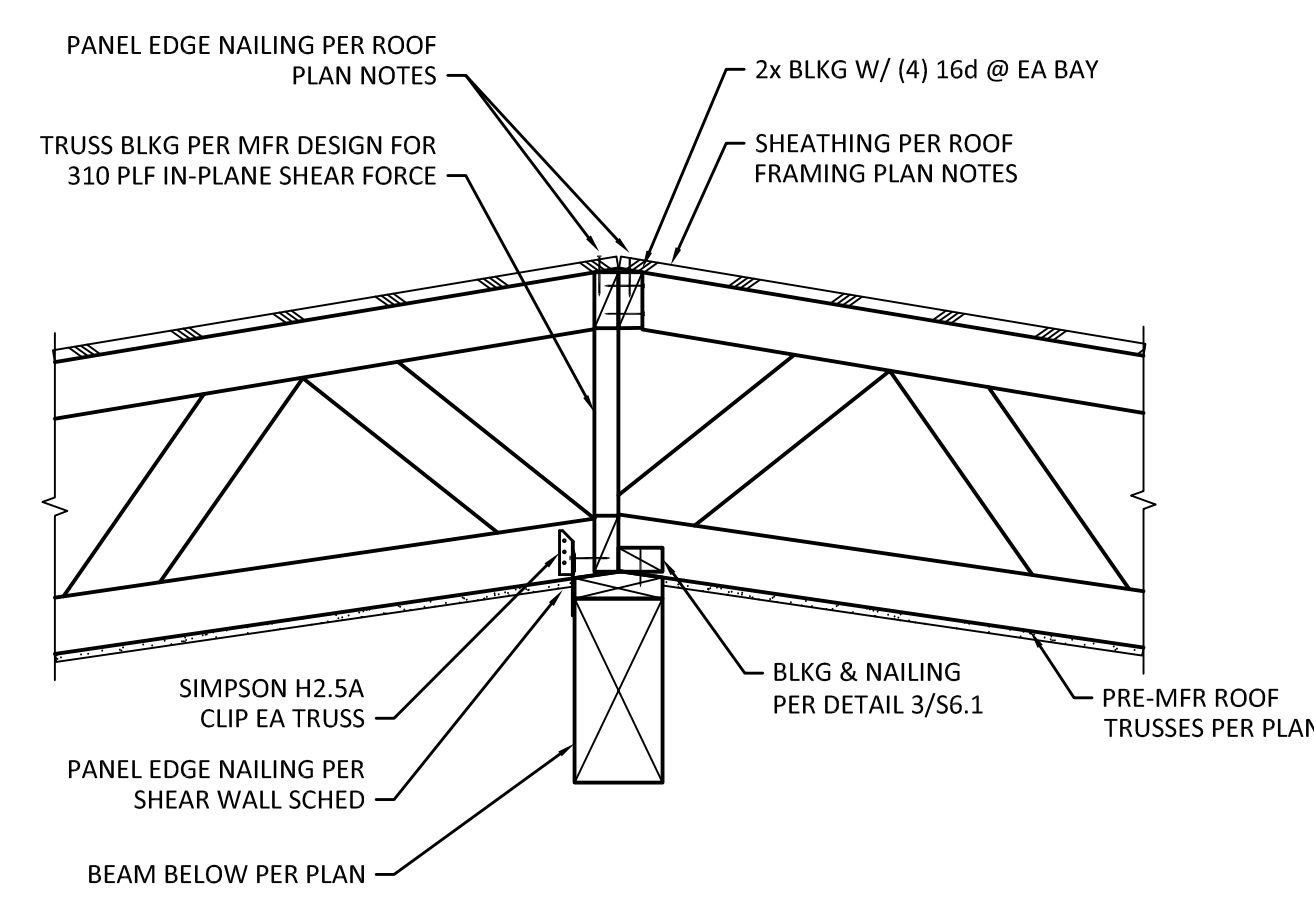
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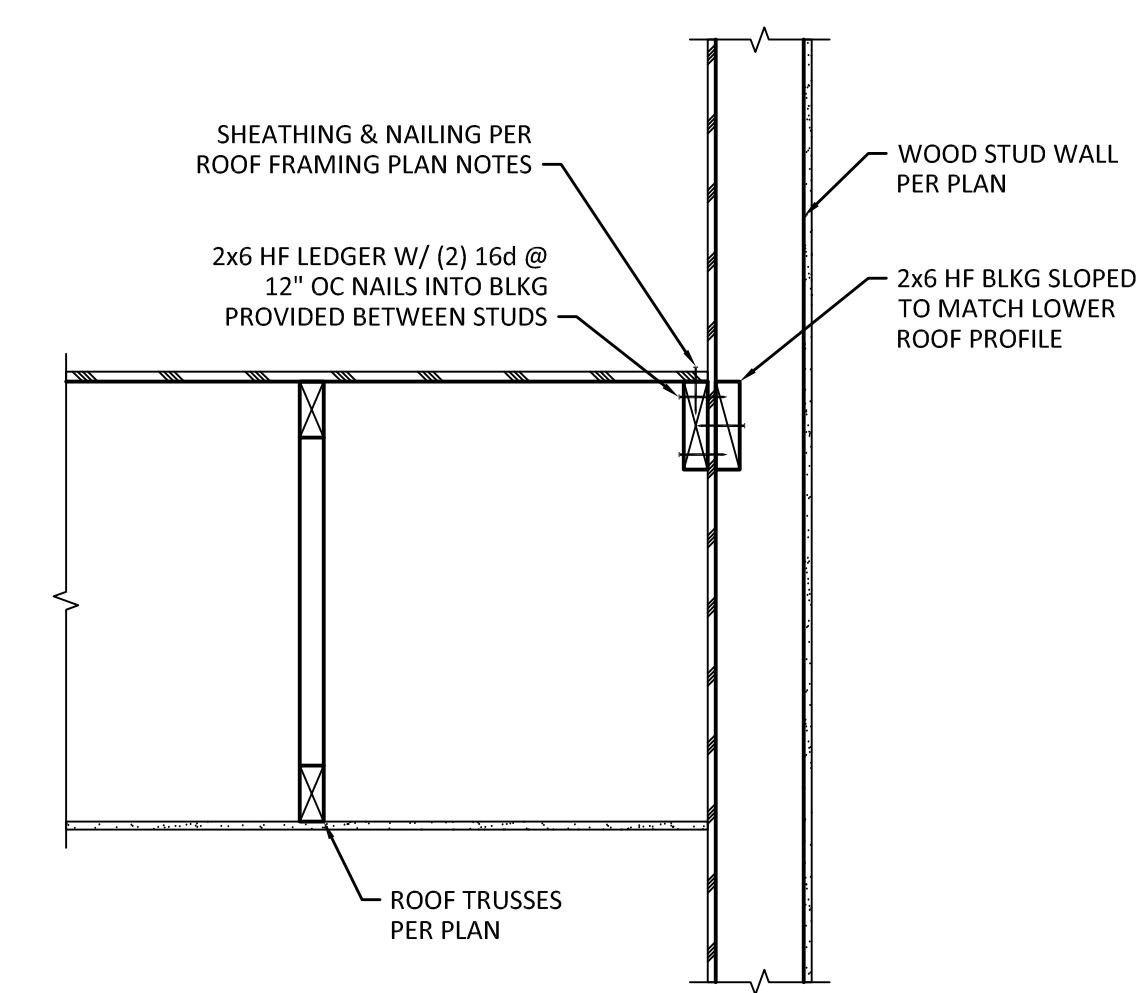
5 PARALLEL CHORD TRUSS FRAMING (NON-BEARING)
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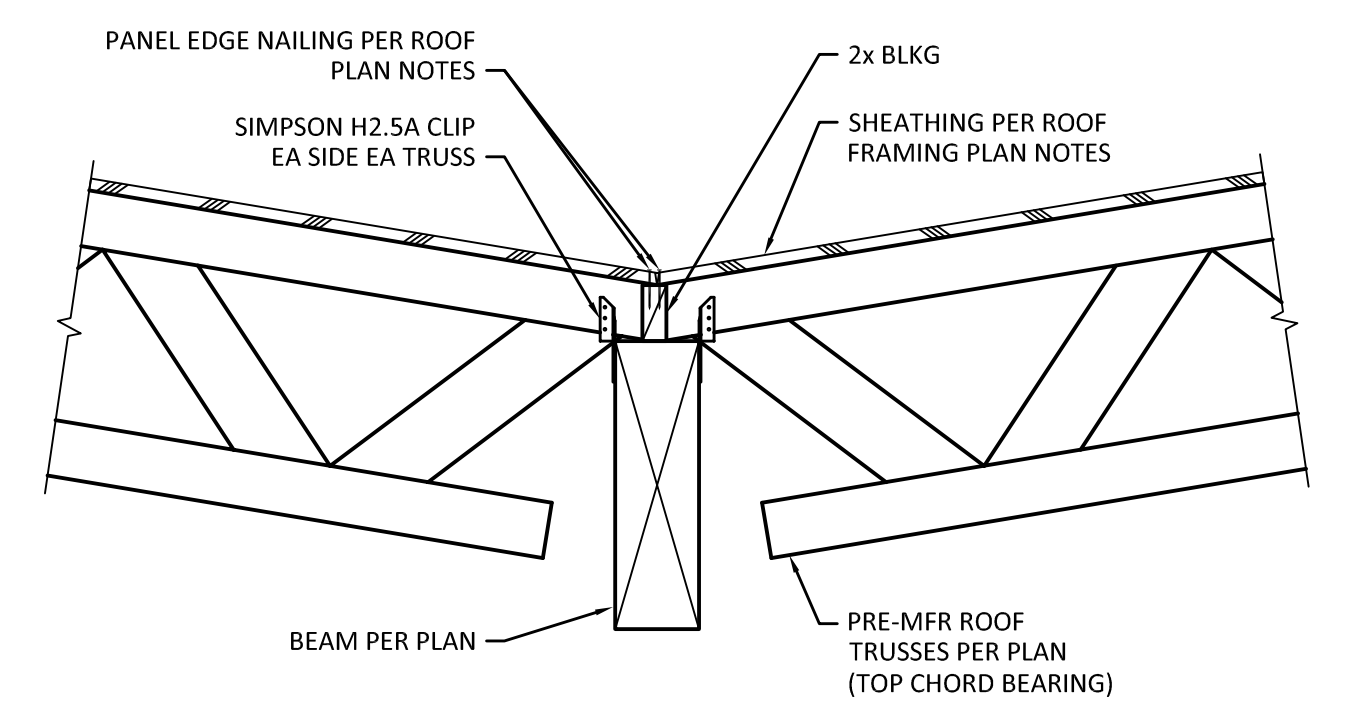
6 PARALLEL CHORD TRUSS BEARING SECTION
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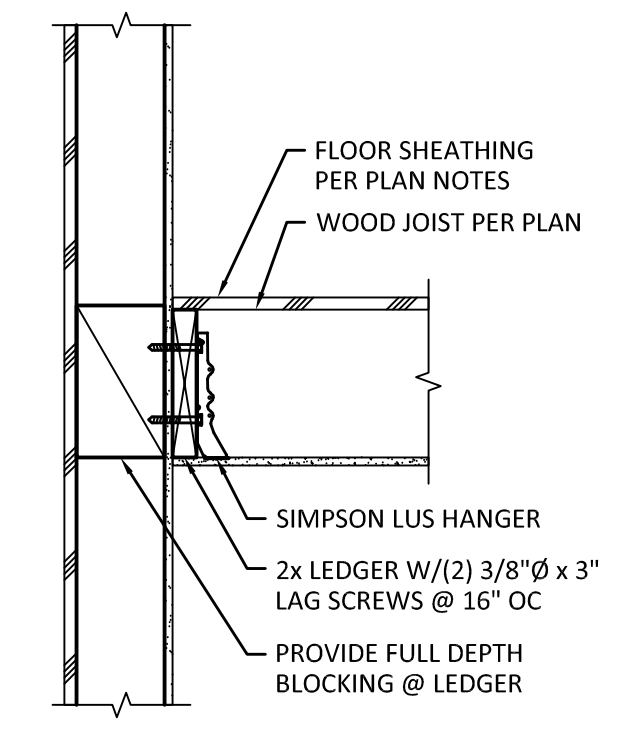
7 PARALLEL CHORD TRUSS BEARING SECTION
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8 SECTION AT LOWER ROOF
 SCALE: 1" = 1'-0"



9 PARALLEL TOP CHORD TRUSS BEARING SECTION
 SCALE: 1" = 1'-0"



10 LOFT SECTION
 SCALE: 1" = 1'-0"

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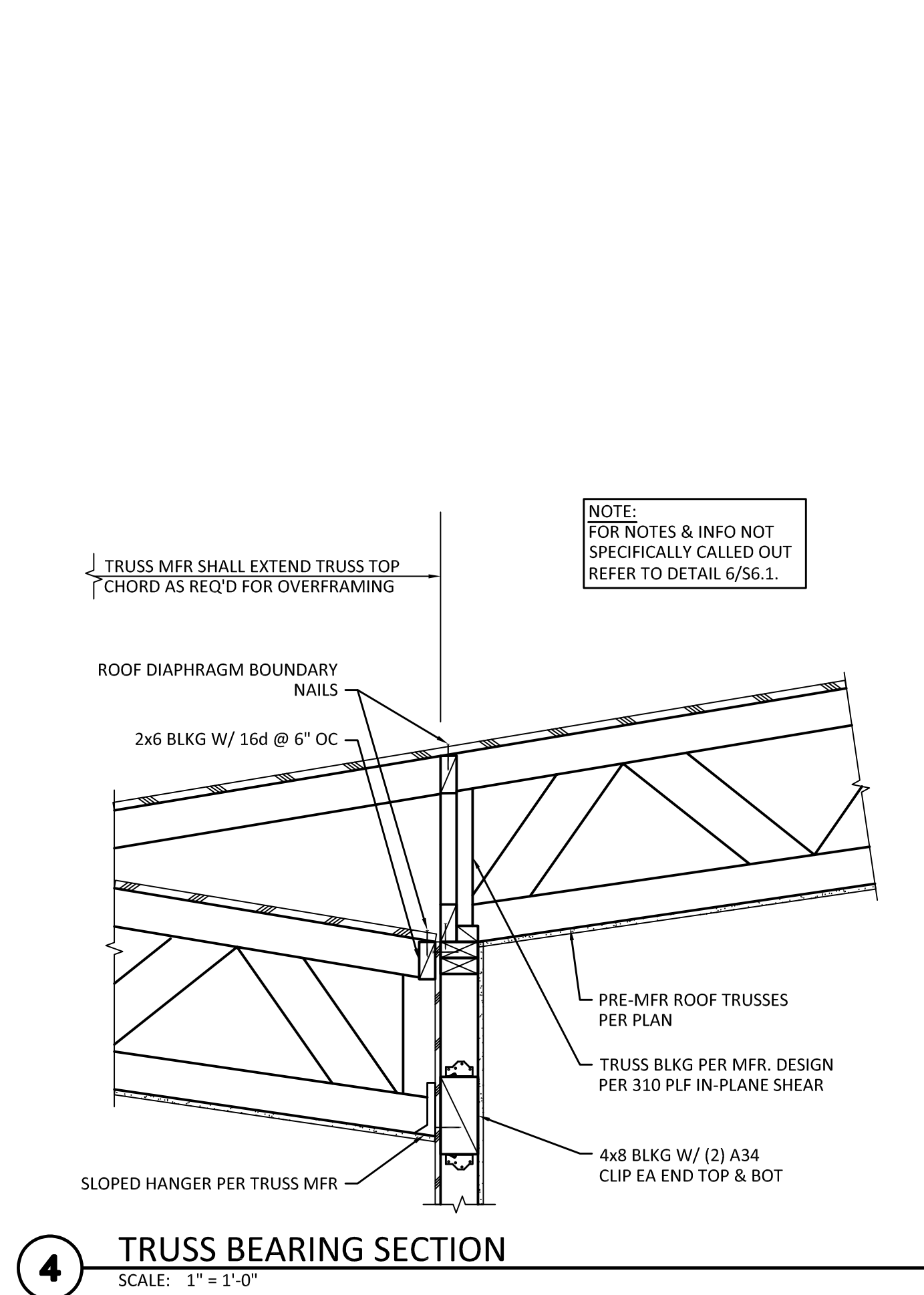
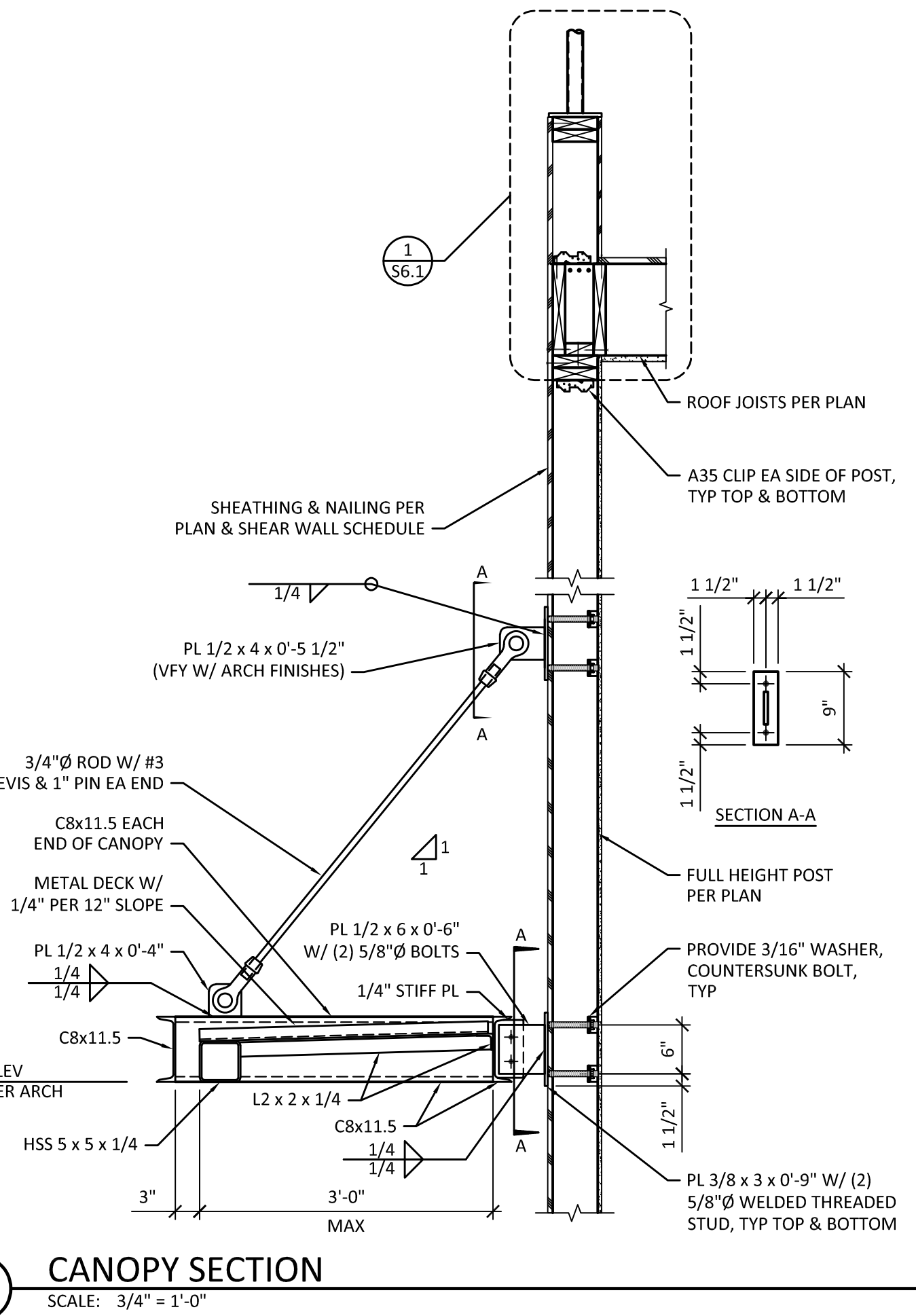
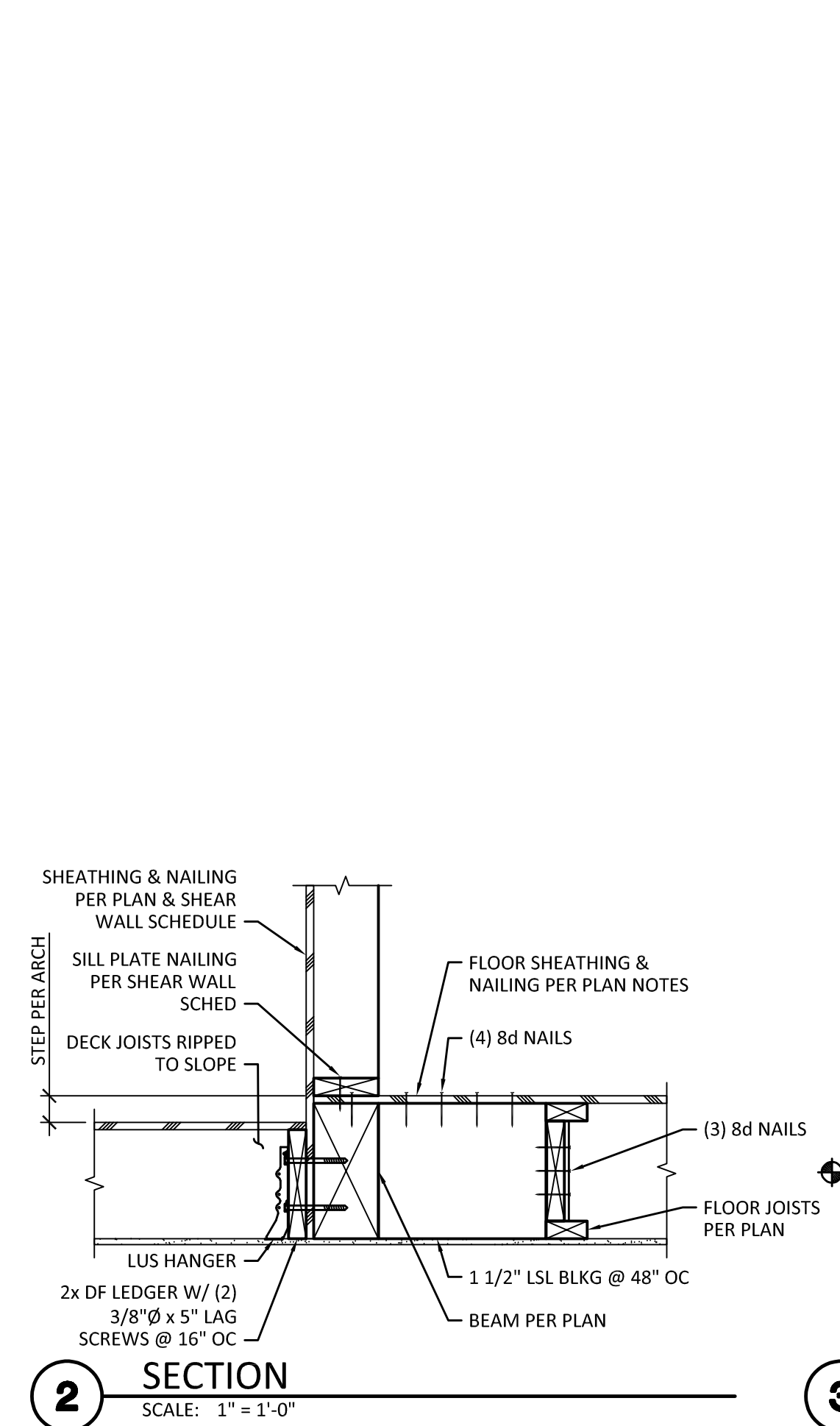
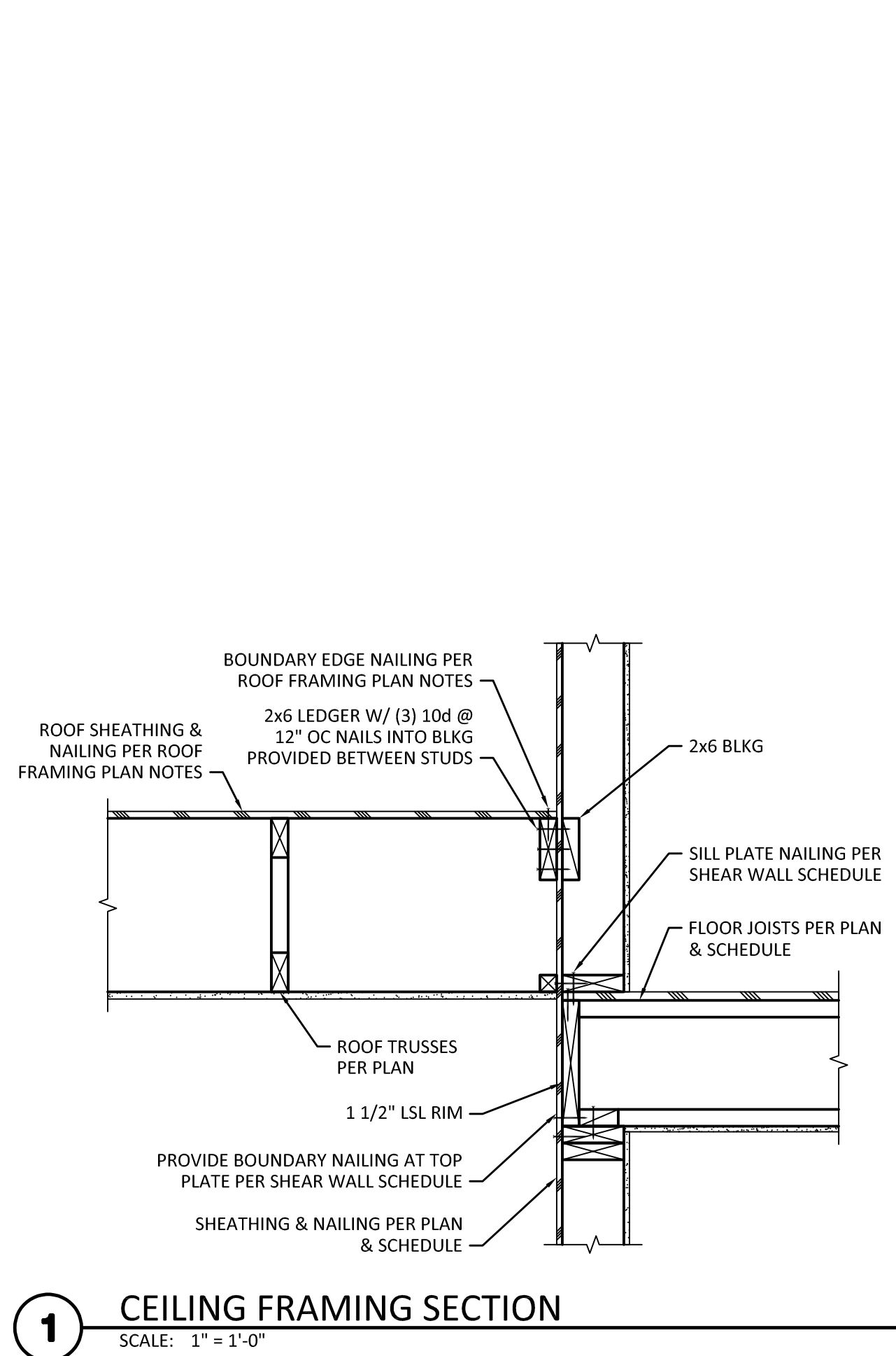
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ROOF FRAMING DETAILS

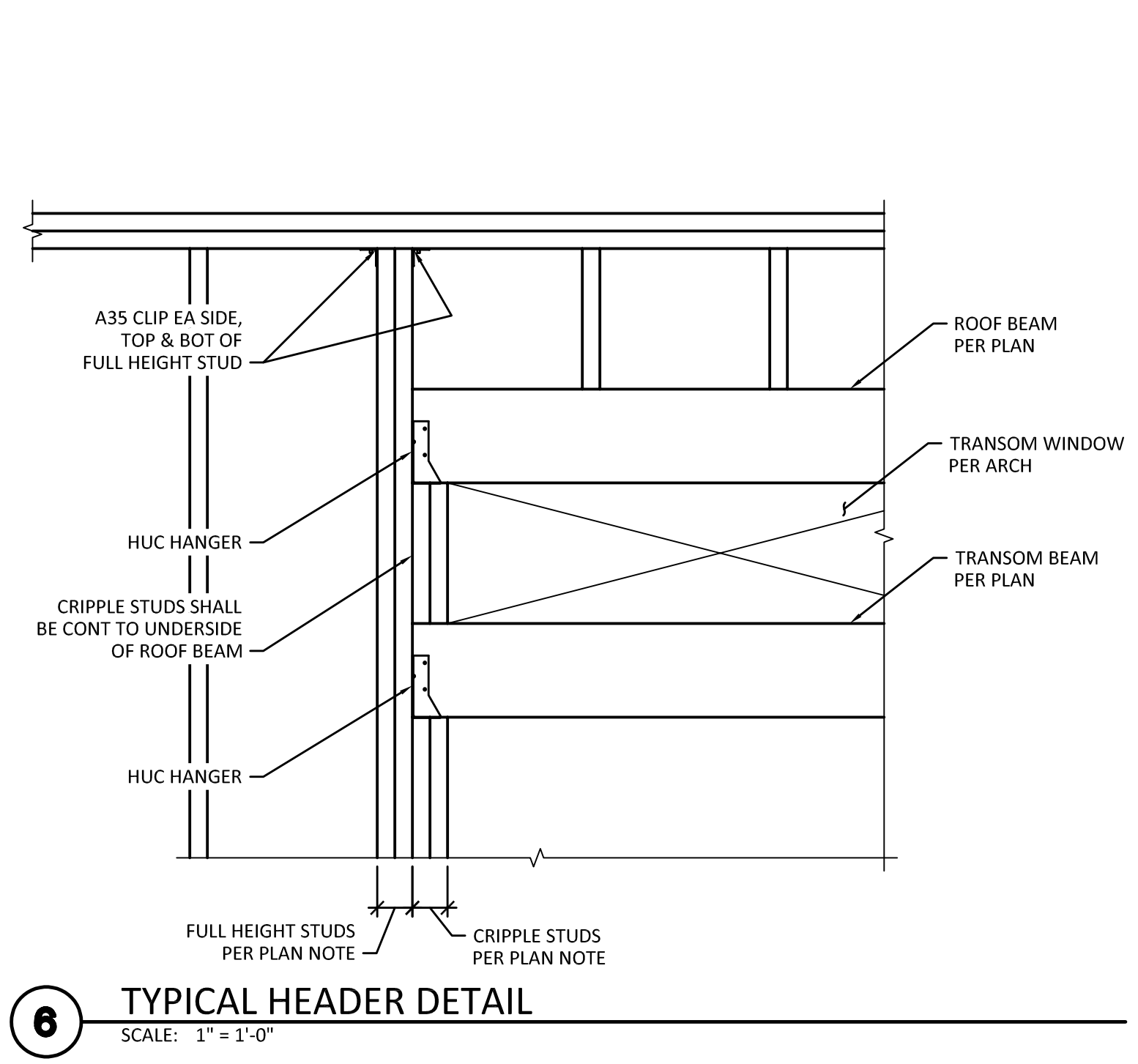
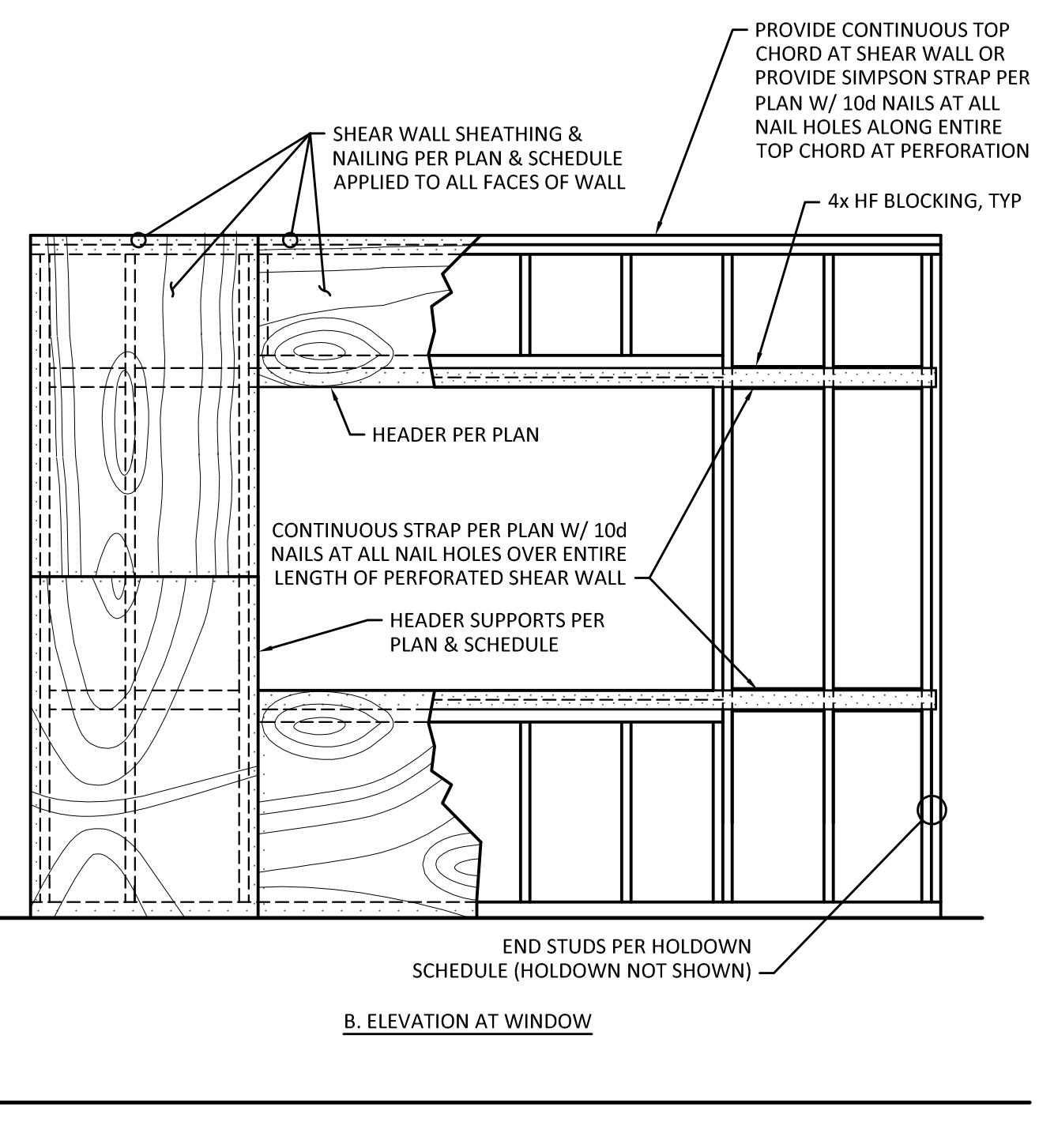
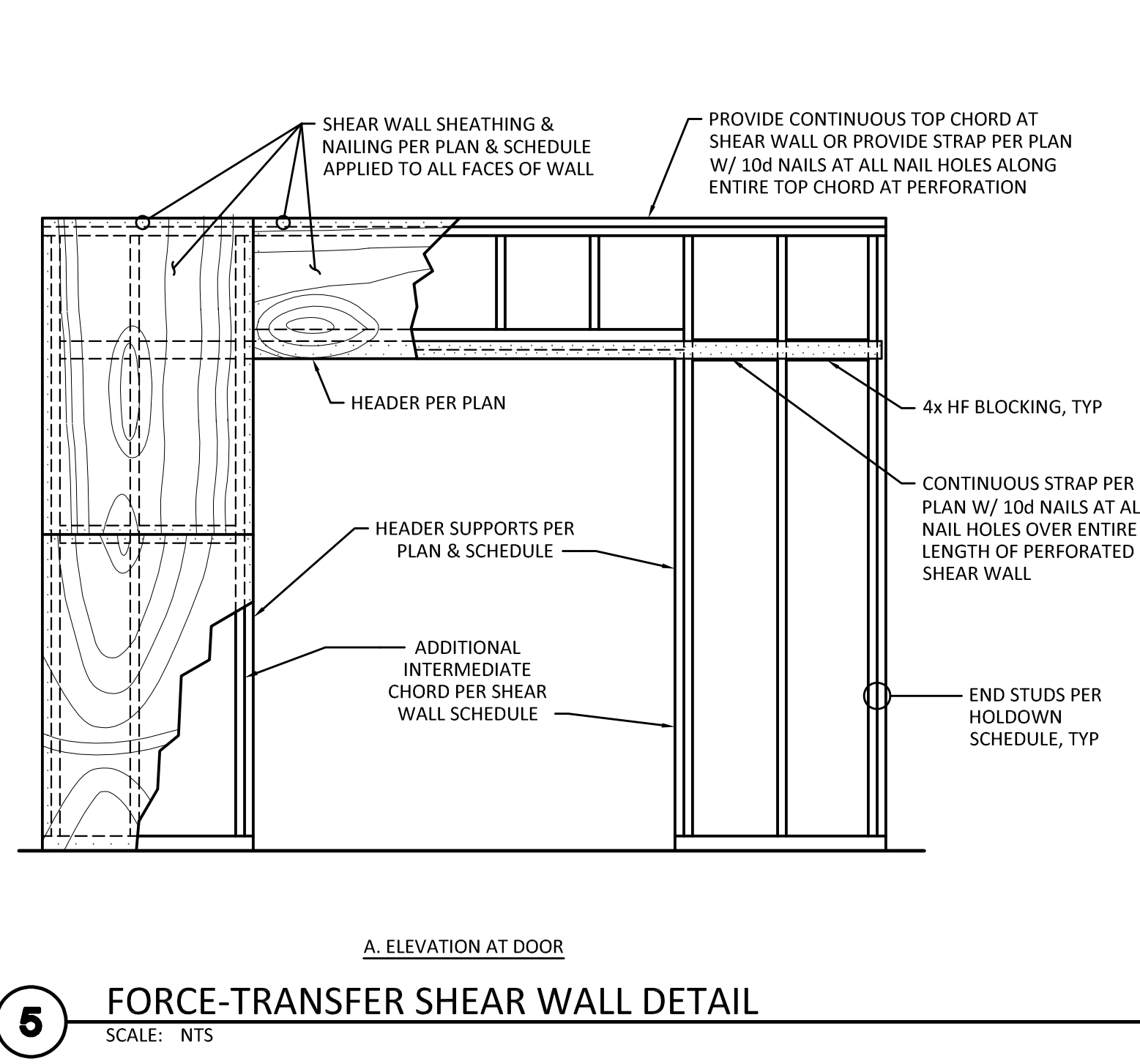
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S6.1



04/11/22



NOTE:
 FOR NOTES & INFO NOT SPECIFICALLY CALLED OUT REFER TO DETAIL 6/S6.1.



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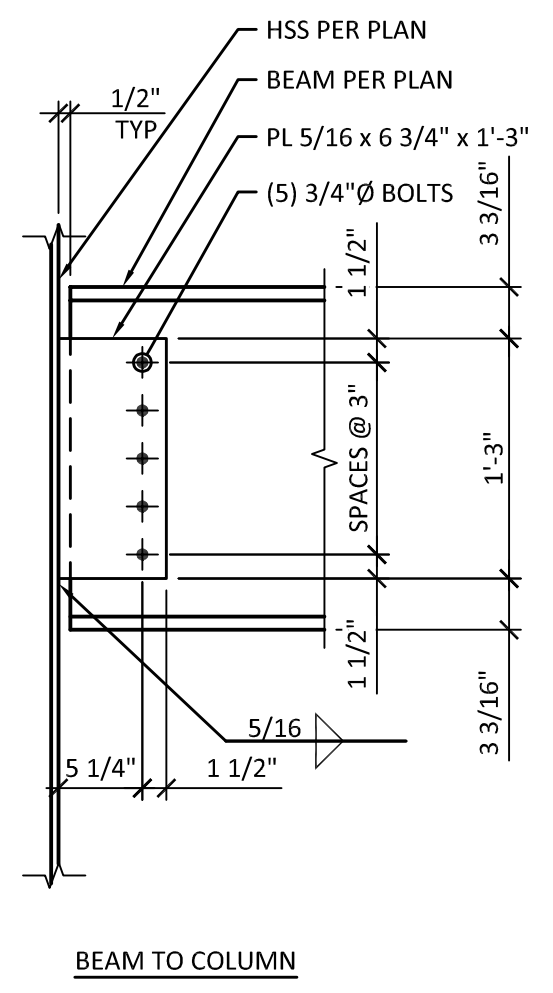
ROOF FRAMING DETAILS

SHEET:
S6.2

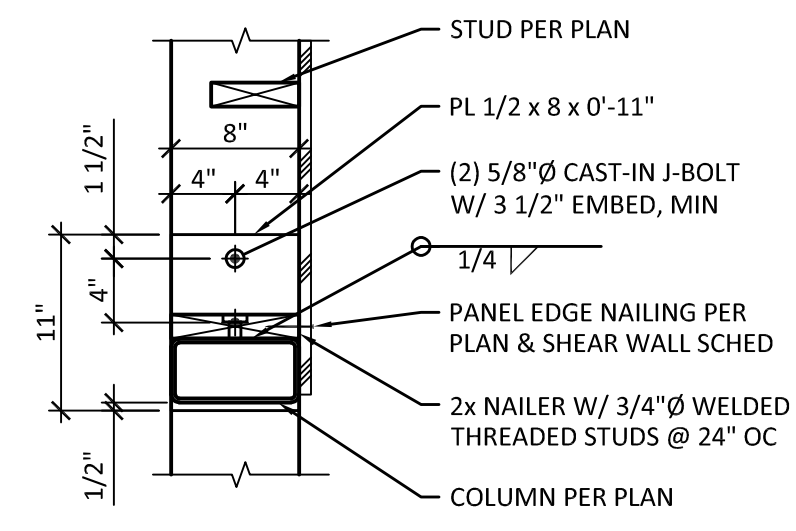


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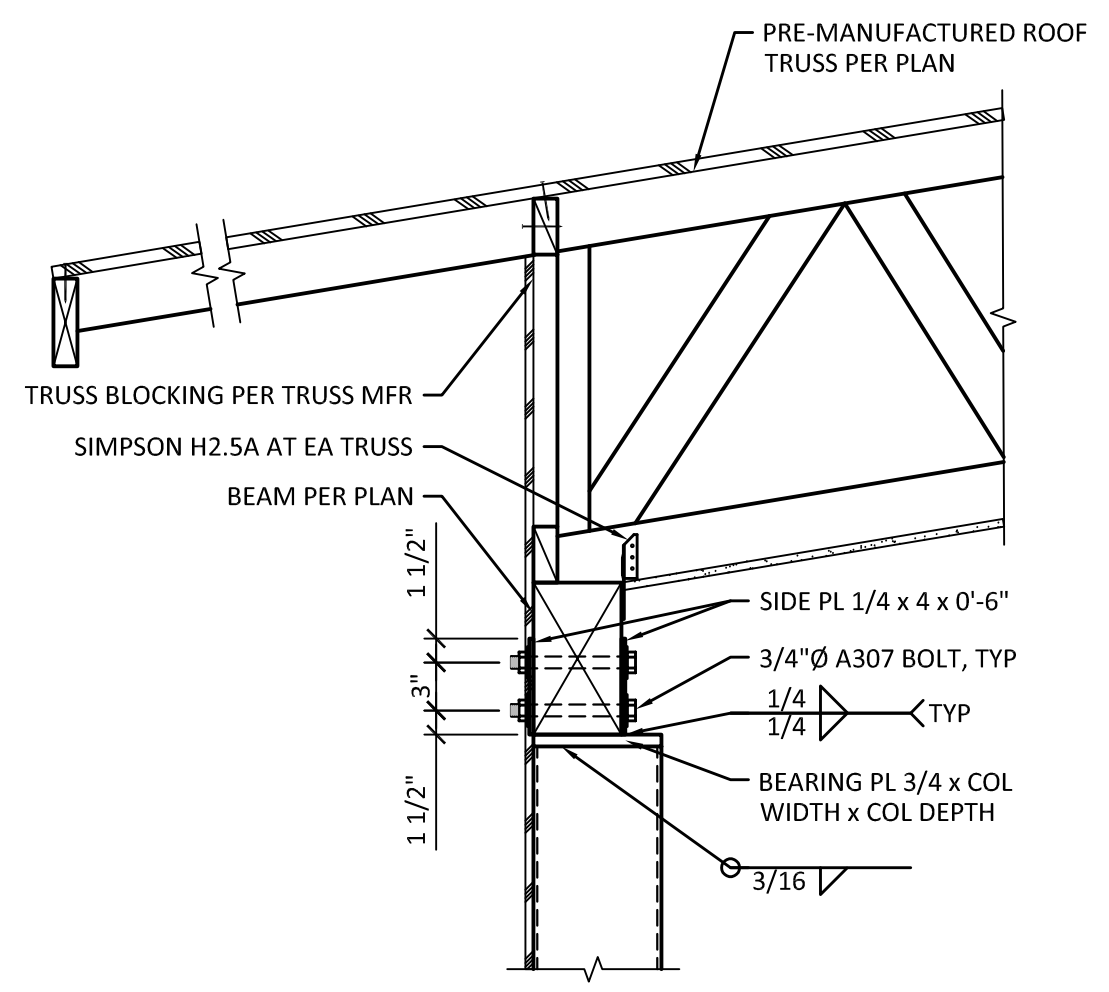
NOTES:
 1. ALL BOLTS SHALL BE A325N,
 TYP UNO BOLT HOLES SHALL
 BE STANDARD SIZE, TYP UNO.
 2. BOLT INSTALLATION SHALL BE
 PER AISC SPECIFICATIONS,
 LATEST EDITION.



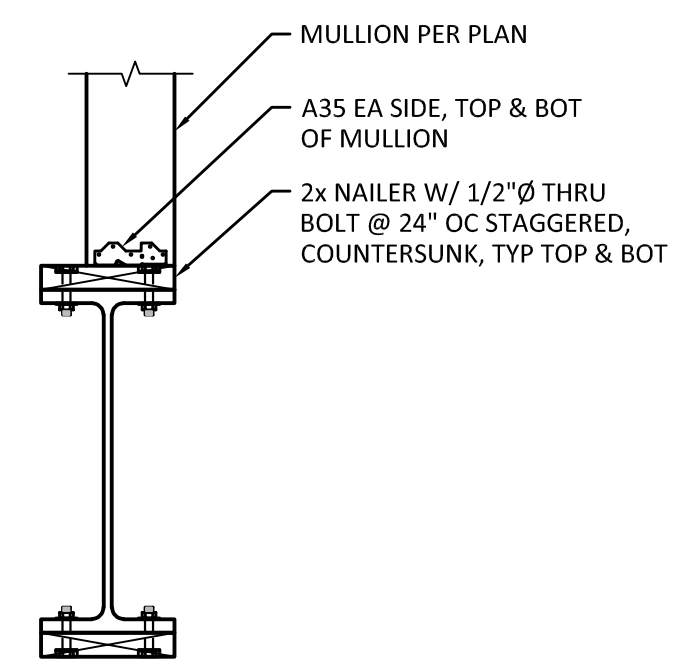
1 TYP SINGLE PLATE SHEAR CONNECTION
 SCALE: NTS



2 BASE PLATE DETAILS
 SCALE: NTS



3 SECTION
 SCALE: 1\"/>



4 BEAM NAILER
 SCALE: 1\"/>

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STEEL DETAILS

FILE NAME

SHEET:

S7.1