-CONSTRUCTION TO CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC), WASHINGTON STATE LAWS AND REGULATIONS, CURRENT WASHINGTON STATE RESIDENTIAL ENERGY CODE AND VARIOUS CODES IMPOSED BY LOCAL AUTHORITIES.

-A SEPARATE PERMIT MAY BE REQUIRED FOR PLUMBING, ELECTRICAL, AND/OR MECHANICAL WORK AS APPLICABLE. -A COPY OF THE APPROVED PERMIT PLANS MUST BE ON THE JOB SITE DURING CONSTRUCTION.

#### 2. CONTRACTOR'S RESPONSIBILITY:

-PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES. -DO NOT SCALE CONTRACT DOCUMENTS.

-IF ANY DISCREPANCIES IN THE DRAWINGS OR FROM THE CODES ARE NOTED, ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.

-ALL CHANGES MADE BY THE CONTRACTOR SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

-THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, SAFETY PRECAUTIONS, ACTS OR OMISSIONS OR PERFORMANCE OF THE -CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE AND WEATHERPROOFING OF THE ENTIRE BUILDING, IT'S COMPONENT EQUIPMENT, AND PARTS.

-ALL STRUCTURAL SYSTEMS SUCH AS WOOD TRUSSES WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE, AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLER.

-ALL WORK MUST FOLLOW CURRENT RRP RULES AND REQUIREMENTS AS DEFINED BY THE EPA AND THE STATE OF WASHINGTON. -ALL WASTE AND REFUSE CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER.

-CONTRACTOR SHALL DESIGN AND INSTALL SHORING AS REQUIRED TO PERFORM WORK. ENGINEERING, CONSTRUCTION AND SAFETY OF THE SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. -FOR ALL NEW CONSTRUCTION OR ADDITIONS DESIGNED WITHIN 1'-O" OF THE HEIGHT LIMIT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE SURVEYOR TO VERIFY THE ELEVATION OF THE STRUCTURE AS IT IS BEING BUILT TO VERIFY ANY ELEVATION DISCRPANCIES THROUGHOUT CONSTRUCTION. ELEVATIONS SHOULD BE VERIFIED FOR EACH FLOOR LEVEL PRIOR TO PROCEEDING WITH THE NEXT FLOOR OF

FRAMING: TOP OF FOUNDATION, TOP OF SUBFLOOR, TOP PLATE AND RIDGE ELEVATIONS SHOULD BE VERIFIED DURING CONSTRUCTION. CONSULT ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION. -FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 2,000 PSF OR PER GEOTECHNICAL REPORT. ALL FOOTINGS SHALL BE CAST ON UNDISTURBED FIRM NATURAL SOIL OR COMPACTED SOIL OF 2,000 PSF BEARING CAPACITY AT LEAST 1-6" BELOW LOWEST ADJACENT GRADE, AND FREE OF ORGANIC MATERIALS. FOOTING EXCAVATION SHALL BE FREE OF LOOSE SOILS, DEBRIS, AND FREE WATER AT ALL

## TIMES. THIS OFFICE TAKES NO RESPONSIBILITY IN VERIFYING THE ACCURACY OF ENGINEERING DATA SUPPLIED BY OTHERS.

-APPLY ROOFING IN ACCORDANCE WITH IRC CHAPTER 9. PROVIDE ATTIC VENTILATION AS INDICATED ON DRAWINGS AND AS OUTLINED IN IRC SEC R806. -THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300 PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATION LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OF CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED

BY EAVE OR CORNICE VENTS. (IRC SEC R806). -ATTIC ACCESS: MINIMUM 22" x 30" WITH MINIMUM 30" HEADROOM, UNOBSTRUCTED, READILY ACCESSIBLE OPENING. IRC SEC R807. ACCESS DOORS SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.

-IN ROOMS NOT PROVIDED WITH AN OPERABLE WINDOW OF 1.5 SQ. FT. OR GREATER, A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR SHALL BE PROVIDED. -VENT DRYER, BATH FANS, AND RANGES/OVENS TO THE OUTSIDE.

-VENT FANS SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING PER IRC SECTION M1502.3 AND IMC SECTION 501.3.

-INSULATE ALL DUCTS OUTSIDE OF CONDITIONED SPACE PER WA STATE ENERGY CODE. -KITCHEN RANGE HOODS: RANGE HOODS CAPABLE OF EXHAUSTING MORE THAN 400 CFM REQUIRE MAKE-UP AIR PER IRC M1503.4.

-TO BE IN COMPLIANCE WITH IRC SEC R308 AND WASHINGTON STATE SAFETY GLASS LAW, EXCEPTIONS ARE AS OUTLINED IN IRC SEC R308. -GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS GLASS IN DOORS, GLAZING WITHIN 24" ON EITHER SIDE OF A DOOR OPENING, GLAZING CLOSER THAN 18" TO A FLOOR, SHOWER DOORS AND TUB ENCLOSURES SHALL BE WIRE REINFORCED, TEMPERED GLASS, LAMINATED SAFETY GLASS OR SHATTER RESISTANT PLASTIC.

-SLIDING GLASS DOORS TO BE SAFETY GLAZING, LAMINATED OR TEMPERED GLASS -SHOWER ENCLOSURES SHALL BE APPROVED WIRE REINFORCED, TEMPERED OR LAMINATED SAFETY GLASS OR SHATTER RESISTANT PLASTIC.

-GLAZING WITHIN 18" OF FLOOR AND GREATER THAN 18" IN LEAST DIMENSION SHALL COMPLY WITH IMPACT LOADS. SEE PLANS

-ALL EXTERIOR WALL GLAZING SHALL BE DOUBLE GLAZED, UNLESS NOTED OTHERWISE, AND COMPLY WITH STATE OF WASHINGTON ENERGY CODE.

-EGRESS IN EVERY SLEEPING ROOM SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24", MINIMUM NET CLEAR OPENING WIDTH OF 20" AND A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. IRC SEC R310.

## -ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO IRC REQUIREMENTS AND THE WASHINGTON STATE ENERGY CODE, LATEST EDITION. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH

-APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS

-BUILDING AIR LEAKAGE TESTING, PER SEC 502.4.5, IS REQUIRED PRIOR TO FINAL INSPECTION. THE TEST RESULTS SHALL BE POSTED ON THE RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE. -EACH DWELLING UNIT IS TO HAVE ONE PROGRAMMABLE THERMOSTAT FOR REGULATION OF TEMPERATURE PER SEC 503.8.1.

-A SIGNED AFFADAVIT DOCUMENTING THE DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO AN APPROVED FINAL INSPECTION.

-DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION.

-MINIMUM 75% OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER SEC 404.1.

-WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL ALLOW FO, AT A MINIMUM, A 5-2 PROGRAMMABLE SCHEDULE (WEEKDAYS/WEEKENDS) AND BE CAPABLE OF PROVIDING AT LEAST TWO PROGRAMMABLE SETBACKS PER DAY.

#### 8. <u>STAIRS:</u>

-MINIMUM HEADROOM 6'-8"; MINIMUM TREAD 10"; MAXIMUM RISER 7 3/4"

-HANDRAIL: REQUIRED AT ALL STAIRS WITH MORE THAN 4 RISERS PER IRC 311.7.8. MINIMUM 34" AND MAXIMUM 38" ABOVE TREAD NOSING. OPEN SIDES OF STAIRS MORE THAN 30" ABOVE ADJACENT FLOOR SHAL HAVE HANDRAILS AND GUARDRAILS. HANDRAIL TO BE 11/4"-2" CROSS SECTIONAL DIMENSION AND 11/2" AWAY FROM WALL.

-GUARDRAIL: SHALL BE MIN 36" IN HEIGHT WHERE ADJACENT SURFACE OR GRADE IS 30" OR MORE BELOW. RAILINGS SHALL BE SPACED TO NOT ALLOW THE PASSAGE OF A 4" SPHERE PER IRC 312.1. -INSTALL FIRE BLOCKING AT MID-STRINGER SPAN AND AT WALL ALIGN STRINGER.

#### -COVER WALLS AND SOFFITS OF USABLE SPACE UNDER STAIR WITH 5/8" TYPE "X" GYPSUM WALLBOARD.

-INSULATION TO MEET THE CURRENT WASHINGTON STATE ENERGY CODE REQ'TS FOR TABLE R402.1.1, TABLE R402.1.3 AND SECTION R402. REFER TO PRESCRIPTIVE TABLE ON SHEET 01.

-EXISTING WALL AND FLOOR CAVITIES EXPOSED DURING CONSTRUCTION FOUND UNINSULATED, OR WITH DAMAGED INSULATION (DISCOLORED, WET, DAMAGED, OR DETERIORATED) SHALL BE FILLED W R-15 INSULATION AT 2X4 FRAMING AND WITH R-21 INSULATION AT 2X6 FRAMING. REF SEC R503.1.1-EXCEPTION 2... -WALLS TO BE INSULATED WITH MINIMUM R-21 INSULATION. BELOW GRADE WALLS TO BE INSULATED WITH MINIMUM R-21 INSULATION, ALLOW FOR THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL UNLESS NOTED OTHERWISE.

-ROOF AND CEILING INSULATED WITH R-49 BLOWN-IN AT FLAT CEILINGS AND R-38 H.D. BATT AT VAULTED AREAS UNLESS NOTED OTHERWISE.

-ROOF: ALLOW FOR A MINIMUM 1" CLEAR BETWEEN TOP OF INSULATION AND BOTTOM OF SHEATHING FOR VENTING UNLESS NOTED OTHERWISE. -VENTING IS REQUIRED IN EACH JOIST SPACE. WHERE CONTINUOUS VENTING WITH A JOIST SPACE IS INTERRUPTED BY A HEADER (FOR EXAMPLE AT A SKYLIGHT OR HIP), PROVIDE (2) 1 1/2" VENTING HOLES AT THE TOP OF THE RAFTER AT THE HEADER TO ALLOW FOR CONTINUOUS THRU-VENTING INTO THE NEXT JOIST SPACE UNLESS NOTED OTHERWISE.

-FLOORS: INSULATED WITH R-30 BATT INSULATION OVER UNHEATED SPACE UNLESS NOTED OTHERWISE. -SLAB-ON-GRADE: PROVIDE EXTRUDED RIGID CLOSED CELL R-10 INSULATION. INSULATION TO PROVIDE THERMAL BREAK BETWEEN SLAB AND FOOTING AND RUN FROM THE TOP OF THE SLAB TO THE BOTTOM OF THE FOOTING. INSULATION MAY BE INTERRUPTED FOR 6" EVERY 2'-0" TO ALLOW FOR DOWELING TO TIE SLAB AND FOOTING TOGETHER. UNLESS NOTED OTHERWISE.

-REQUIRES 1/2" GWB ON THE GARAGE SIDE. 5/8" TYPE 'X' GWB WHERE THERE IS LIVING SPACE ABOVE. SUPPORTING COLUMNS, WALLS AND BEAMS USE 1/2" GWB PER IRC R302.6 -OPENINGS INTO A GARAGE: OPENINGS INTO A GARAGE SHALL HAVE A SOLID WOOD OR HONEYCOMB-CORE STEEL DOOR NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE RATING. DOORS SHALL BE EQUIPPED WITH A SELF-CLOSING DEVICE PER IRC R302.5.1.

-AN APPROVED VAPOR BARRIER SHALL BE INSTALLED AT EXTERIOR WALLS AND AT ALL ROOF DECKS, BELOW ENCLOSED JOIST SPACES WHERE CEILING FINISHES ARE DIRECTLY INSTALLED TO JOISTS, AND ANY OTHER WALL OR CEILING SURFACES WHICH RECEIVE INSULATION. THIS VAPOR BARRIER MAY BE A COMPONENT OF THE INSULATION MATERIAL. APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS

#### SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS. 12. FIRE SAFETY:

-SMOKE ALARMS/DETECTORS (S.D.): SMOKE ALARMS/DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS, IN THE AREA OUTSIDE THE SLEEPING ROOM AND IN OTHER LOCATIONS PER IRC R314. POWER SOURCE AND INTERCONNECTION PER IRC. -CARBON MONOXIDE DETECTORS (C.M.D.): SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM INSTALLED OUTSIDE OF EACH SLEEPING AREA IN DWELLING UNITS AND IN EACH LEVEL IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS PER IRC315. SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH THIS CODE, NFPA 720-2012 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

-CARBON MONOXIDE DETECTION SYSTEMS PER IRC 315.2 THAT INCLUDE CARBON MONOXIDE DETECTORS AND AUDIBLE NOTIFICATION APPLIANCES, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THIS SECTION FOR CARBON MONOXIDE ALARMS AND NFPA 720-2012, SHALL BE PERMITTED. THE CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2075. WHERE A HOUSEHOLD CARBON MONOXIDE DETECTION SYSTEM IS INSTALLED, IT SHALL BECOME A PERMANENT FIXTURE OF THE OCCUPANCY.

#### 13. <u>CERTIFICATE & TESTING</u>

- A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, OR AN APPROVED LOCATION INSIDE THE BUILDING. WHEN LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BELOW-GRADE WALL, AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION; HTE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING; AND THE RESULTS FROM THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FLOW RATE TEST. WHERE THE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING, WHOLE-HOUSE MECHANICAL VENTILAION, AND SERVICE WATER HEATING APPLIANCES. WHERE A GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE, OR BASEBOARD ELECTRIC HEATER IS INSTALLED IN THE RESIDENCE, THE CERTIFICATE SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER", "ELECTRIC FURNACE", OR "BASEBOARD ELECTRIC HEATER", AS APPROPRIATE. AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRE UNVENTED ROOM HEATERS, ELECTRIC FURNACES, OR ELECTRIC BASEBOARD HEATERS.

#### 14. <u>LIGHTING EQUIPMENT</u>

- NOT LESS THAN 90 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS

#### - FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS

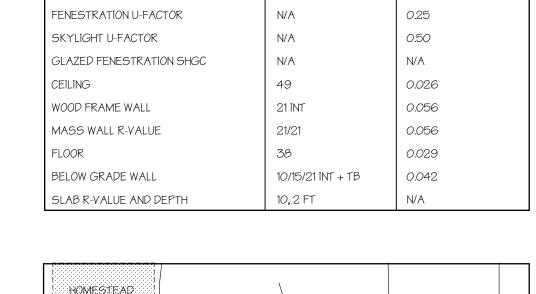
- INSTALL NFPA13D FIRE SPRINKLER SYSTEM PER MICC ORDINANCE TO ALL AREAS OF DWELLING UNIT. DESIGN TO BE PROVIDED BY OTHERS.
- SPRINKLERS SHALL BE LISTED RESIDENTIAL SPRINKLERS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE SPRINKLER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THE SPRINKLER SYSTEM SHALL BE DESIGNED BY A WASHINGTON STATE CERTIFIED SPRINKLER DESIGNER AND INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION STANDARD (NFPA) 13D

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AS BUILT - MAIN FLOOR

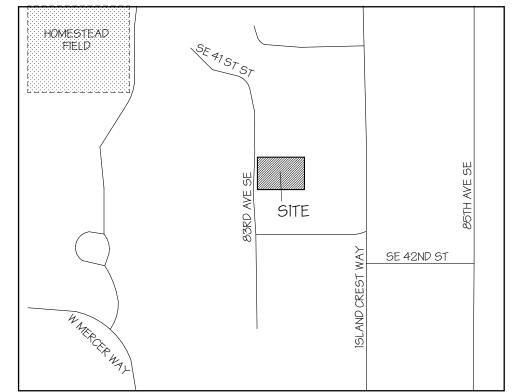
SCALE: 1/8" = 1'-0"



PRESCRIPTIVE REQUIREMENTS - ALL CLIMATE ZONES

LOCATION

R-VALUE



VICINITY MAP (NTS)

#### PROJECT INFORMATION

<b>ALL</b>	PROJECT OWNER:	LAUREN AND ELI BRUMBAUGH 4124 83RD AVE E MERCER ISLAND WA 98040
WITH	PROJECT ARCHITECT: PROJECT DESIGNER:	HEIDI HELGESON LISA MONTALVO/LAUREN GROTH H2D ARCHITECTURE + DESIGN 23020 EDMONDS WAY, #113 EDMONDS, WA 98020
	STRUCTURAL ENGINEER:	DENNIS TITUS, PE, SE CG ENGINEERING 250 4TH AVE S, STE 200

EDMONDS, WA 98020

425.778.8500 JARED UNDERBRINK, PE CG ENGINEERING 250 4TH AVE S, STE 200 EDMONDS, WA 98020

PROJECT DESCRIPTION: DEMO EXISTING SINGLE FAMILY RESIDENCE CONSTRUCT NEW SINGLE FAMILY RESIDENCE

425.778.8500

PROJECT ADDRESS: 4124 83RD AVE SE

TAX LOT NUMBER: 362650-0030

LEGAL DESCRIPTION: LOT 6, BLOCK 1, ISLAND RIDGE TRACTS, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 47 OF PLATS, PAGE(S) 71, IN KING

COUNTY, WA.

#### LAND USE CODE COMPLIANCE STATISTICS

#### **ENERGY CREDIT INFORMATION**

ENERGY CREDIT FROM WASHINGTON STATE ENERGY CODE TABLE 406.3

MEDIUM DWELLING UNIT: 6 CREDITS

ALL DWELLING UNITS NOT INCLUDED IN SMALL, LARGE, OR R-2.

FUEL NORMALIZATION CREDIT FROM WASHINGTON STATE ENERGY CODE TABLE R406.2

FOR AN INITIAL HEATING SYSTEM USING A HEAT PUMP THAT MEETS FEDERAL STANDARDS FOR THE EQUIPMENT LISTED IN TABLE C403.3.2(1) OR C403.3.2(2)

AIR TO WATER HEAT PUMP UNITS THAT ARE CONFIGURED TO PROVIDE BOTH HEATING AND COOLING AND ARE RATED IN ACCORDANCE WITH AHRI 550/590

1.4 EFFICIENT BUILDING ENVELOPE = 1.0 PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS: VERTICAL FENESTRATION U=0.25 WALL R-21 PLUS R-4 CI

BASEMENT WALL R-21 IN PLUS R-5 CI SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB

COMPLIANCE BASED ON SECTION R402.1.4: REDUCE THE TOTAL CONDUCTIVE UA BY 15%

5.3 EFFICIENT WATER HEATING = 1.0 CREDITS

ENERGY STAR RATED GAS OR PROPANE WATER HEATER WITH A MINIMUM UEF OF 0.91

2.2 AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION OPTIONS = 1.0 CREDITS COMPLIANCE BASED ON R402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 2.0 AIR CHANGES PER HOUR MAXIMUM AT 50 PASCALS

ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE IRC OR SECTION 403.8 OF THE IMC SHALL BE MET WITH A HEAT RECOVERY VENTILATION SYSTEM WITH A AMINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.65.

3.2 HIGH EFFICIENCY HVAC EQUIPMENT = 1.0 CREDITS AIR-SOURCE CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF OF 9.5.

4.2 HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM = 1.0 CREDITS HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEM(S) INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R403.3.7.

LOCATING SYSTEM COMPONENTS IN CONDITIONED CRAWL SPACES IS NOT PERMITTED UNDER THIS OPTION.

ELECTRIC RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS THAN 80% IS NOT PERMITTED

UNDER THIS OPTION. TO QUALIFY TO CLAIM THIS CREDIT THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE HEATING EQUIPMENT TYPE AND SHALL

SHOW THE LOCATION OF THE HEATING AND COOLING EQUIPMENT AND ALL THE DUCTWORK. TOTAL CREDITS = 6.0

## SHEET INDEX

02	SHERLAN
SURV	SURVEY
L1	LANDSCAPE PLAN
C1.1	COVER SHEET AND GENERAL NOTES
C2.1	TEMPORARY EROSION CONTROL PLAN
C2.2	TEMPORARY EROSION CONTROL DETAILS
C3.1	GRADING AND UTILITY PLAN
C3.2	GRADING AND UTILITY DETAILS
A1.0	MAIN FLOOR DEMOLITION PLAN

PROJECT INFORMATION, VICINITY MAP, GENERAL NOTES, AS-BUILT PLANS

MAIN FLOOR PLAN UPPER FLOOR PLAN ROOF PLAN WINDOW AND DOOR SCHEDULES

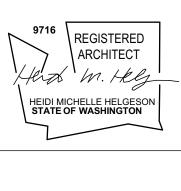
A2.0 EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS A2.2 EXTERIOR ELEVATIONS A3.0 BUILDING SECTIONS BUILDING SECTIONS

A3.2 BUILDING SECTIONS WALL SECTIONS A4.1 WALL SECTIONS TYPICAL DETAILS

STRUCTURAL NOTES FOUNDATION PLAN ROOF FRAMING PLAN ROOFTOP DECK FRAMING PLAN

> ROOF FRAMING DETAILS ROOF FRAMING DETAILS

S3.1 SCHEDULES FOUNDATION DETAILS WOOD FRAMING DETAILS





PROJECT INFORMATION, VICINITY MAP, GENERAL NOTES, AS-BUILT PLANS



ARCHITECT U R E D E S I G N

23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

DATE: 4/12/2022 REV1: 5/13/2022

1. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO GROUND WORK

3. REFER TO CIVIL ENGINEERING FOR GRADING, DRAINAGE, PAVING, AND UTILITIES

6. INSTALL OR UPSIZE WATER METER AND/OR SUPPLY LINE, MIN 1" METER SIZE AND

2. REFER TO CIVIL ENGINEERING FOR EROSION CONTROL MEASURES

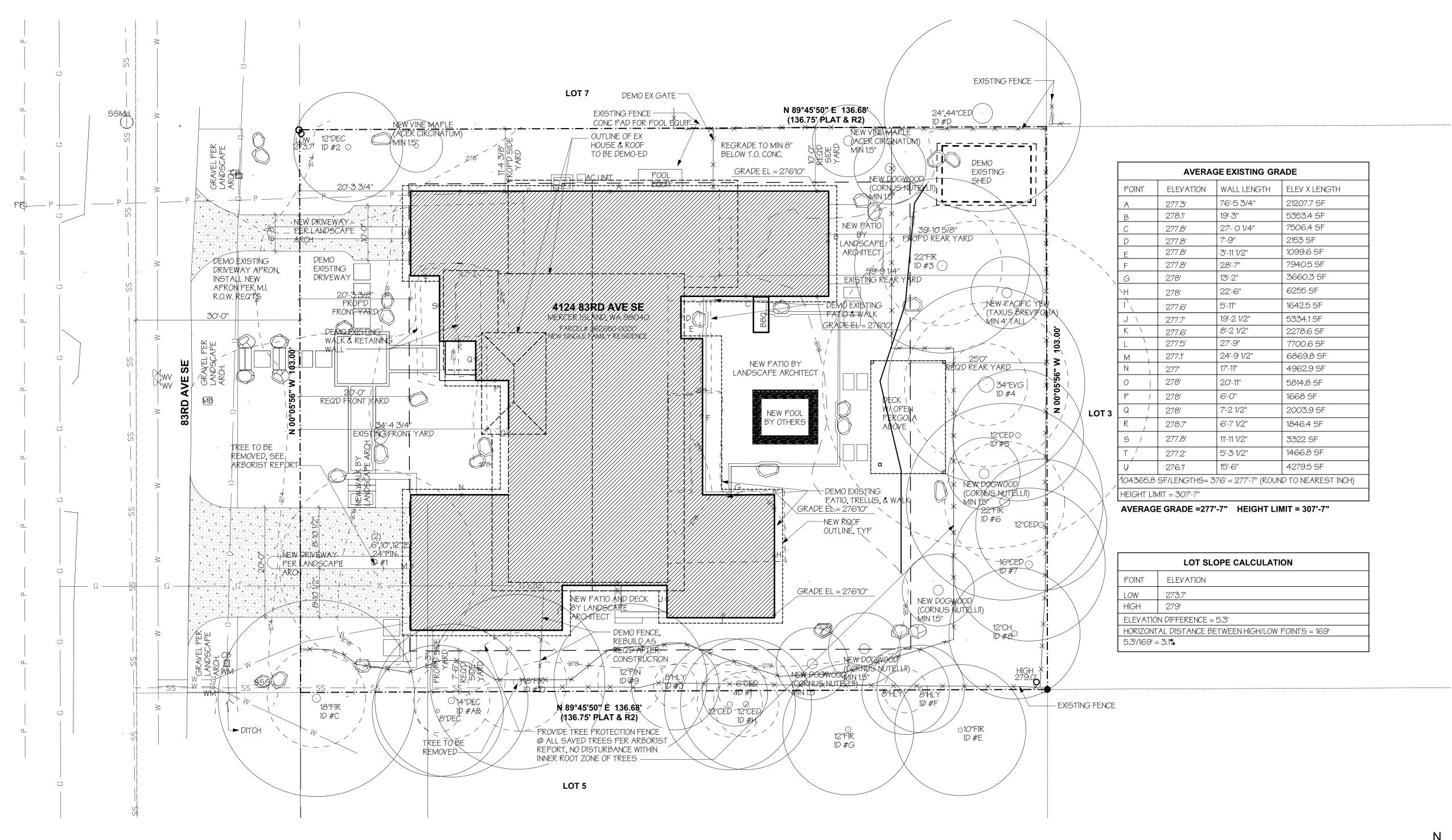
5. REFER TO LANDSCAPE ARCHITECT'S PLANS AND SPECIFICATIONS.

4. REFER TO GEOTECHNICAL ENGINEERING REPORT.

1.25" MINIMUM SUPPLY LINE SIZE (METER TO HOUSE).

PERMIT SET

SITE PLAN



# SITE PLAN

SCALE: 1" = 10'

ZONE:	R9.6				
EXISTING	LOT AREA:	14,078 SF (PER SURVEY)	EXISTING	EXISTING WALKWAY (DEMO):	362.2 SF
LOT COVERAGE:	EXISTING HOUSE/GARAGE (DEMO): EXISTING SHED (DEMO):	166.1 SF	<u>HARDSCAPE</u> :	EXISTING PATIO (DEMO): EXISTING HARDSCAPE:	80.2 SF 442.4 SF
	EXISTING DRIVEWAY (ĎEMO): EXISTING LOT COVERAGE:	667 SF 3055.9 SF		ALLOWED HARDSCAPE:	14078 SF X 9% = 1267.02 SFOK
	ALLOWED LOT COVERAGE:	14078 SF X 40% = 5631.2 SFOK	<u>PROPOSED</u> <u>HARDSCAPE</u> :	UNCOVERED DECKS: UNCOVERED PATIOS:	39.3 SF 827.5 SF
PROPOSED	LOT AREA:	14,078 SF (PER SURVEY)		WALKWAYS: STAIRS:	343.5 SF 22 SF
LOT COVERAGE:	NEW HOUSE AND ATTACHED GARAC NEW DRIVEWAY (INCL GRASS STRIF	P): 489.1 SF		ROCKERY AND RETAINING WALLS: PROPOSED HARDSCAPE:	30.4 SF 1,262.7 SF
	NEW OUTDOOR STRUCTURE OVER D PROPOSED LOT COVERAGE:	ECK: 282.4 SF 5622.2 SF (39.9 <b>%</b> )		ALLOWED HARDSCAPE: 14078 SF X 9% =	= 1,267.02 SF + 9 SF = 1,276.02 SF
	ALLOWED LOT COVERAGE: (9 REMAINING SF TO BE APPLIED TO	14078 SF X 40% = 5631.2 SFOK ) HARDSCAPE)	PARKING:	3 REQUIRED PARKING SPACES FOR HOUSES OVER 3000 SF	
REQ'D SETBACKS:	OIL CLIPTION:	20' 25' 103' X 17 <b>%</b> = 17'-6" COMBINED TOTAL 6" X 33 <b>%</b> = 5'-9 1/4" MIN SIDE YARD	BUILDING HEIGHT INFORMATION:	BUILDING HEIGHT LIMIT = 30' REFER TO SHEET A2.0 AND A2.1 FOR DETAILE HEIGHT INFORMATION	ED .
LANDSCAPE AREA:	PROPOSED LANDSCAPE AREA: REQ'D LANDSCAPE AREA:	8487.8 SF (60.3 %) 14078 SF X 60% = 8446.8 SF	FLOOR AREA RATIO:	14078 SF X 40% = 5631.2 SF (MEASURED TO OUTSIDE OF EXTERIOR WALL) REFER TO SHEET A1.1 FOR FAR CALCULATIONS	

(2)6",10",12",15",24"PIN

CB (TYPE 1)

RIM=272.64'

REBAR/CAP/

\_\_IE(N) 12"CONC=271.04"

IE(S) 12"CONC=271.04"

√8"DEC

N 89°45'50" E / 136.68

(136.75' PLA/T & R2)

12"CED 12"CED

SE 42ND ST

BASIS OF BEARINGS N 89°45'50" E 333.37' MEAS. (333.36' R1)(333.50' PLAT)

12"FIR

FENCE LINE (WOOD) FLAGSTONE SURFACE

PST POST
P POWER METER PPO POWER POLE

ROCKERY

GAS LINE GAS METER INLET (TYPE 1) MAILBOX (RESIDENTIAL)

MONUMENT IN CASE (FOUND)

( IN FEET )

1 INCH = 10 FT.

PAVEMENT

N 89'45'50" E

APPROX. LOCATION OF SIDE SEWER PER-GIS RECORDS

VISITED 11-17-14

CHANNEL(N&S)=262.22'

RIM=269.82' CENTER OF 8"CONC

IRON PIPE (FOUND)

REBAR & CAP (SET)

SEWER MANHOLE

SIZE TYPE ( TREE (AS NOTED)

WV M WATER VALVE

VICINITY MAP

Holy Trinity Lutheran Church

Boys & Girls Club

SITE

Mary Wayte Poo

Mercer Island Young Life Hous

St. Monica School

WM WATER METER

05/21/21 JGM/CSP

12"CED

16"CED\_

12"CH

FENCE COR 0.4'N, 1.3'W~

OF PROP COR

/SET REBAR/CAP

FENCE POST AT PROP COR

3.00'W OF

PROP COR

CRE

BENCHMARK

DOWN 0.6'

ELEV=284.936'

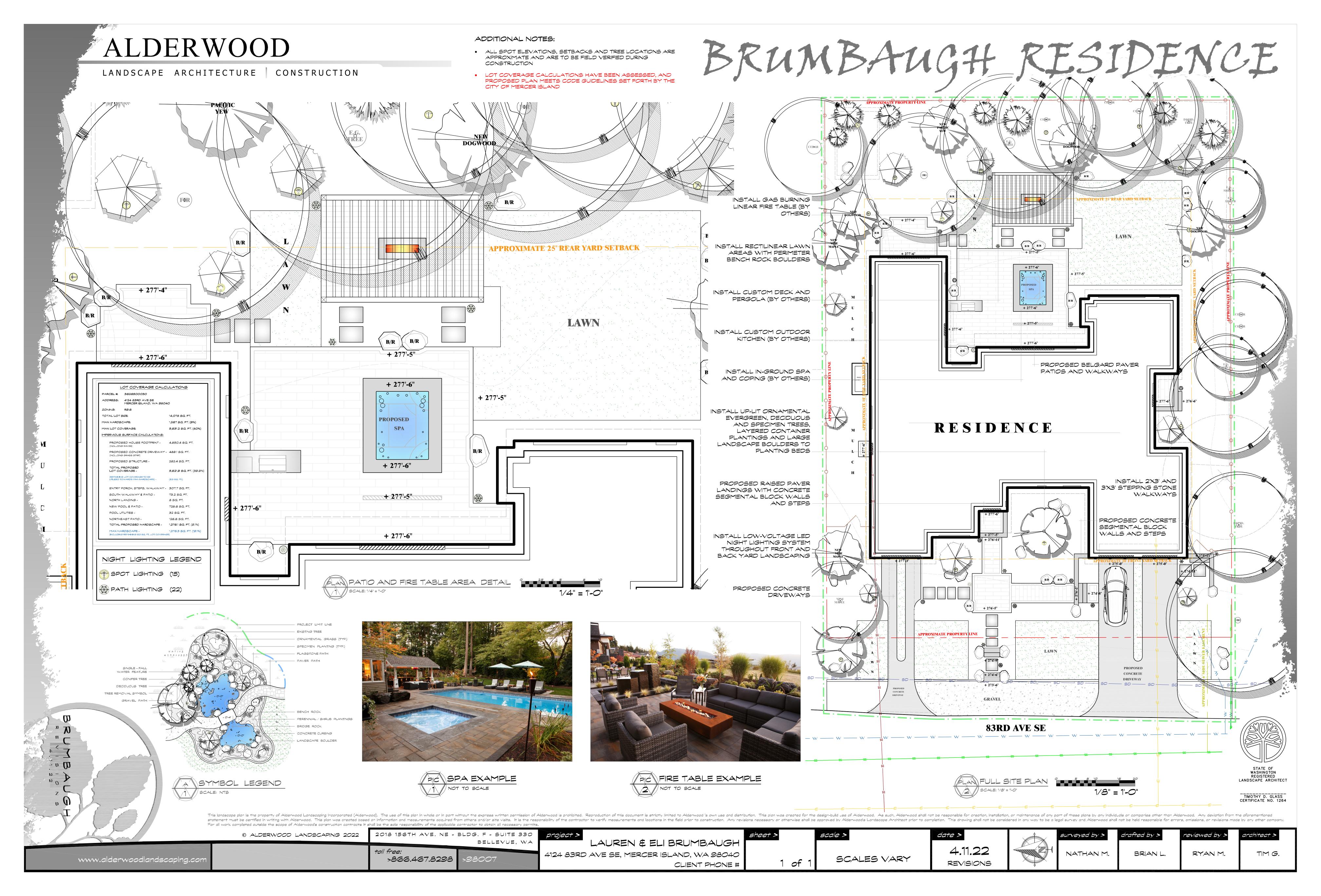
VISITED 9-10-15

MERCER ISLAND #3060

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210661 JOB NUMBER: DATE: DRAFTED BY: CHECKED BY: SCALE: REVISION HISTORY

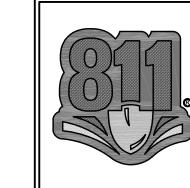
SHEET NUMBER



# NE 1/4 OF NE 1/4, SECTION 32, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M. BRUMBAUGH RESIDENCE CALL BEFORE YOU C

CONTACT: JOHNNY CHEN

# 4124 83RD AVE SE MERCER ISLAND, WA 98040



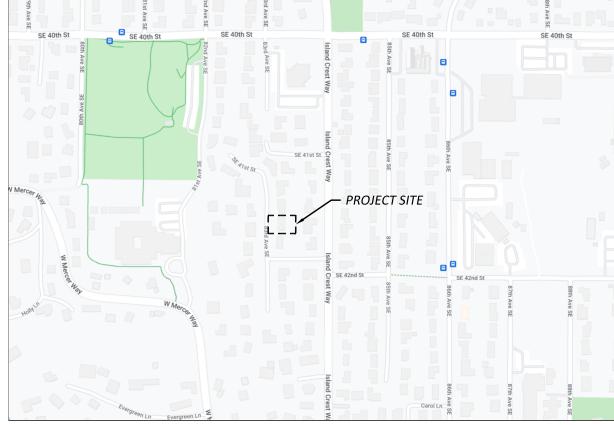
# **CALL BEFORE YOU DIG!**

BURIED UTILITIES EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT BE COMPLETE. CONTACT THE ONE- CALL UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION

C4.1 WATER & SEWER PLAN

1-800-424-5555

## SHEET INDEX C1.1 COVER SHEET & GENERAL NOTES C2.1 TEMPORARY EROSION CONTROL PLAN C3.1 GRADING & DRAINAGE PLAN



EDMONDS, WASHINGTON 98020

PHONE (425) 778-8500

FAX (425) 778-5536

JRAWN:

CHECK: JOB NO: 22032.20 03/23/22

DE SI AVE ND, RUI 12. ER

SHEET:

## OWNER

LAUREN AND ELI BRUMBAUGH 4124 83RD AVE SE MERCER ISLAND. WA 98040

CONSULTANTS

ARCHITECT H2D ARCHITECTURE + DESIGN 23020 EDMONDS WAY #113 EDMONDS, WA 98020 206.370.4762 FAX: 542.3734 CONTACT: HEIDI HELGESON

CIVIL ENGINEER CG ENGINEERING PANGEO, INC 250 4TH AVE S, SUITE 200 3213 EASTLAKE AVE E, SUITE B EDMONDS, WA 98020 SEATTLE, WA 98102 425.778.8500 FAX 778.5536 206.262.0370

CONTACT: JARED UNDERBRINK

SOIL/GEOTECH ENGINEER SURVEYOR TERRANE 10801 MAIN ST, SUITE 102 BELLEVUE, WA 98004

425.458.4488

**CONTACT: JACOB MILLER** 

LEGAL DESCRIPTION

LOT 6. BLOCK 1. ISLAND RIDGE TRACTS. ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 47 OF PLATS, PAGE(S) 71, IN KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

PARCEL NUMBER

NAVD 88

**BASIS OF BEARINGS** 

N 89°45'50" E BETWEEN FOUND

CENTERLINE MONUMENTATION

ALONG SE 42ND ST PER PLAT

## **GENERAL NOTES**

#### **GENERAL NOTES**

1. STANDARD SPECIFICATIONS:

A. ALL WORK TO BE PERFORMED AND MATERIALS TO BE USED SHALL BE IN ACCORDANCE WITH THE WSDOT/APWA 2022 STANDARD SPECIFICATIONS AND STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, AS APPLICABLE AND AS MODIFIED BELOW, AND UNLESS OTHERWISE NOTED, SHALL BE SUBJECT TO INSPECTION AND

APPROVAL BY THE CITY OF MERCER ISLAND. B. LOCAL AMENDMENTS TO THE STANDARD SPECIFICATIONS, CONSISTING OF STANDARD DRAWINGS AND SPECIAL TECHNICAL CONDITIONS ARE REFERENCED IN THESE NOTES. COPIES OF THESE DOCUMENTS ARE AVAILABLE AT THE OFFICE OF THE CITY ENGINEER, CITY OF MERCER ISLAND, 9611 SE 36TH STREET, MERCER ISLAND, WA 98040.

C. THESE SPECIFICATIONS SHALL BE APPLICABLE FOR, BUT NOT LIMITED TO, PUBLIC AND PRIVATE STREETS, DRIVEWAYS, PARKING LOTS, COMMERCIAL AND INDUSTRIAL DEVELOPMENTS, APARTMENTS, ETC. WORK IN PRIVATE DEVELOPMENTS SHALL CONFORM TO THE SAME STANDARDS OF WORKMANSHIP AND MATERIALS AS ARE SPECIFIED WITHIN THE CITY RIGHT-OF-WAY, EXCEPT AS INDICATED ON THE PLANS.

PRIOR TO CONSTRUCTION, AND IN ADDITION TO ANY OTHER PERMITS REQUIRED, A CITY OF MERCER ISLAND "STREET USE PERMIT" MUST BE OBTAINED FOR ANY AND ALL WORK WITHIN THE CITY RIGHT-OF-WAY.

IT IS A REQUIREMENT OF THE CITY OF MERCER ISLAND ENGINEERING DEPARTMENT, THAT AN APPROVED SET OF CONSTRUCTION PLANS FOR ALL WORK BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD.

THE ENGINEERING DEPARTMENT CONSTRUCTION INSPECTOR 236-5300, OR 236-3587. (24-HR TAPED INSPECTION LINE) SHALL BE NOTIFIED 24-HOURS PRIOR TO STARTING ANY TYPE OF CONSTRUCTION INCLUDING CLEARING, SANITARY SEWERS, WATER MAINS, STORM DRAINS, CURB AND UTTERS, SIDEWALKS, DRIVEWAYS, STREET GRADING AND PAVING

#### CONTROL OF MATERIAL

THE SOURCE OF SUPPLY AND A DETAILED LIST OF EACH LIST OF EACH OF THE MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO DELIVER. ONLY MATERIALS CONFORMING TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPROVED BY THE CITY SHALL BE USED IN THE WORK. TESTING OF MATERIALS MAY INCLUDE TESTS OF ACTUAL SAMPLES, MANUFACTURER'S CERTIFICATIONS, APPROVAL OF CATALOGUE CUTS, OR FIELD ACCEPTANCE REPORTS. TESTING OF MATERIALS FOR INCORPORATION IN PRIVATE WORK SHALL BE PERFORMED AT OTHER THAN CITY EXPENSE.

## **EROSION AND SEDIMENTATION CONTROL**

- 1. THE IMPLEMENTATION OF THESE EROSION SEDIMENTATION CONTROL (ESC) PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMIT HOLDER/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- 2. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DIES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE COMPLETED PRIOR TO ALL OTHER
- 3. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES), AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- 4. THE ESC FACILITIES SHALL BE INSPECTED DAILY DURING NONRAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT AND AT THE END OF EVERY RAINFALL BY THE PERMIT HOLDER/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMP. SILTATION PONDS AND ALL TEMP. SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
- ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF SEVEN (7) DAYS, SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G. SEEDING, MULCHING, NETTING, EROSION BLANKETS, ETC...).
- 6. ANY AREAS NEEDING ESC MEASURE, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE
- 7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT.
- 8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER DOWNSTREAM SYSTEM.

9. STABILIZED CONSTRUCTION ENTRANCES AND WASH PADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION

- AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL REQUIREMENTS SHALL BE ENFORCED BY THE INSPECTOR TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN OF SILT FROM CONSTRUCTION VEHICLES.
- 10. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE. (E.G. ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE)

DEVELOPMENT PROPOSALS FOR A NEW SINGLE-FAMILY HOME SHALL REMOVE JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM) AND REGULATED CLASS A, REGULATED CLASS B, AND REGULATED CLASS C WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED, FROM REQUIRED LANDSCAPING AREAS ESTABLISHED PURSUANT TO SUBSECTION 19.02.020(F)(3)(A). NEW LANDSCAPING ASSOCIATED WITH NEW SINGLE-FAMILY HOME SHALL NOT INCORPORATE ANY WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED. PROVIDED, THAT REMOVAL SHALL NOT BE REQUIRED IF THE REMOVAL WILL RESULT IN INCREASED SLOPE INSTABILITY OR RISK OF LANDSLIDE OR EROSION.

#### **EROSION AND SEDIMENTATION CONTROL (CONT)**

11. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF THREE INCHES.

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- 12. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
- 13. EROSION/SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS IF DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL, UNLESS OTHERWISE APPROVED BY THE CITY
- 14. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN
- 15. TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE INSTALLED AND OPERATING PRIOR TO ANY GRADING OR
- 16. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL
- 17. ALL CUT AND FILL SLOPES 5:1 (5 FEET HORIZONTAL TO 1 FOOT VERTICAL) OR STEEPER THAT WILL BE LEFT EXPOSED FOR MORE THAN 7 DAYS SHALL BE PROTECTED BY JUTE MATTING. PLASTIC SHEETING. MULCH. OR OTHER APPROVED STABILIZATION METHOD AND PROVIDED WITH ADEQUATE RUNOFF CONVEYANCE TO INTERCEPT RUNOFF AND CONVEY IT TO AN APPROVED STORM DRAIN.
- OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET, THE STREET SHALL BE CLEANED. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION VEHICLE ENTRANCE AND SHALL BE CLEANED OF MUD PRIOR TO EXITING ONTO THE STREET. SILT SHALL BE CLEANED FROM ALL CATCH BASINS WHEN THE BOTTOM HALF BECOMES FILLED WITH SILT.
- 19. ANY CATCH BASIN COLLECTING WATER FROM THE SITE, WHETHER THEY ARE ON OR OFF OF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION.
- 20. WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCES SHALL BE REPLACED AND THE FABRIC CLEANED IF CLOGGED BY SILT. ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER
- 21. IF ANY PORTION OF THE EROSION/SEDIMENTATION CONTROL ELEMENTS ARE DAMAGED OR NOT FUNCTIONING. OR IF THE CLEARING LIMIT BOUNDARY BECOMES NON-DEFINED, IT SHALL BE REPAIRED IMMEDIATELY.

## STORM DRAINAGE CONSTRUCTION

- PIPE SHALL BE CONCRETE OR ALUMINUM METAL, WITHIN THE PUBLIC RIGHT OF WAY. CONCRETE PIPE UP TO AND INCLUDING 24" DIAMETER SHALL BE UNREINFORCED AND SHALL CONFORM TO ASTM C-14, TABLE II, EXTRA STRENGTH, RUBBER GASKETED. CORRUGATED ALUMINUM ALLOY CULVERT PIPE SHALL BE AASHTO M-196, M-197, M-211, AND M-219, HELICAL, GAUGES AND TYPES SHALL BE AS NOTED ON THE PLANS. REINFORCED PIPE SHALL CONFORM TO ASTM DESIGNATION C-76 UNLESS OTHERWISE SPECIFIED. STORM SEWER DETENTION PIPE GREATER THAN 24" DIAMETER SHALL BE RUBBER GASKETED, HELICAL CORRUGATED ALUMINUM PIPE. BEDDING TO BE CLASS "C". GAUGE OF PIPE WILL BE AS SHOWN ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 7-04 OF THE SPECIFICATIONS AND MAY BE SUBJECT TO EXFILTRATION TEST.
- OTHER MATERIALS FOR STORM DRAINAGE CONSTRUCTION REQUIRE WRITTEN APPROVAL OF THE CITY ENGINEER.
- A. BEDDING SHALL CONFORM TO STANDARD PLAN B-11 B. MINIMUM COVER OVER STORM DRAIN SHALL BE 18".

8" BETWEEN HOLES. THE GRIT DROP CHAMBER IS A MINIMUM OF 24".

- C. TRENCH BACKFILL COMPACTED TO 95% OF MAXIMUM DENSITY SHALL BE REQUIRED WHEREVER TRENCH EXCAVATION IS MADE IN PAVED ROADWAY, SIDEWALK OR ANY OTHER AREA WHERE MINOR SETTLEMENT WOULD BE DETRIMENTAL.
- 4. CATCH BASIN:
  - A. TYPE 1, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON STANDARD PLAN B-1. THE MAXIMUM DISTANCE TO INVERT IS 5'0" WITH A MAXIMUM PIPE DIAMETER UP TO 15" FOR CONCRETE PIPE, 18" FOR CMP. THE GRIT DROP CHAMBER IS A MINIMUM OF 18". B. TYPE 2, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE STANDARD SPECIFICATION AND AS SHOWN

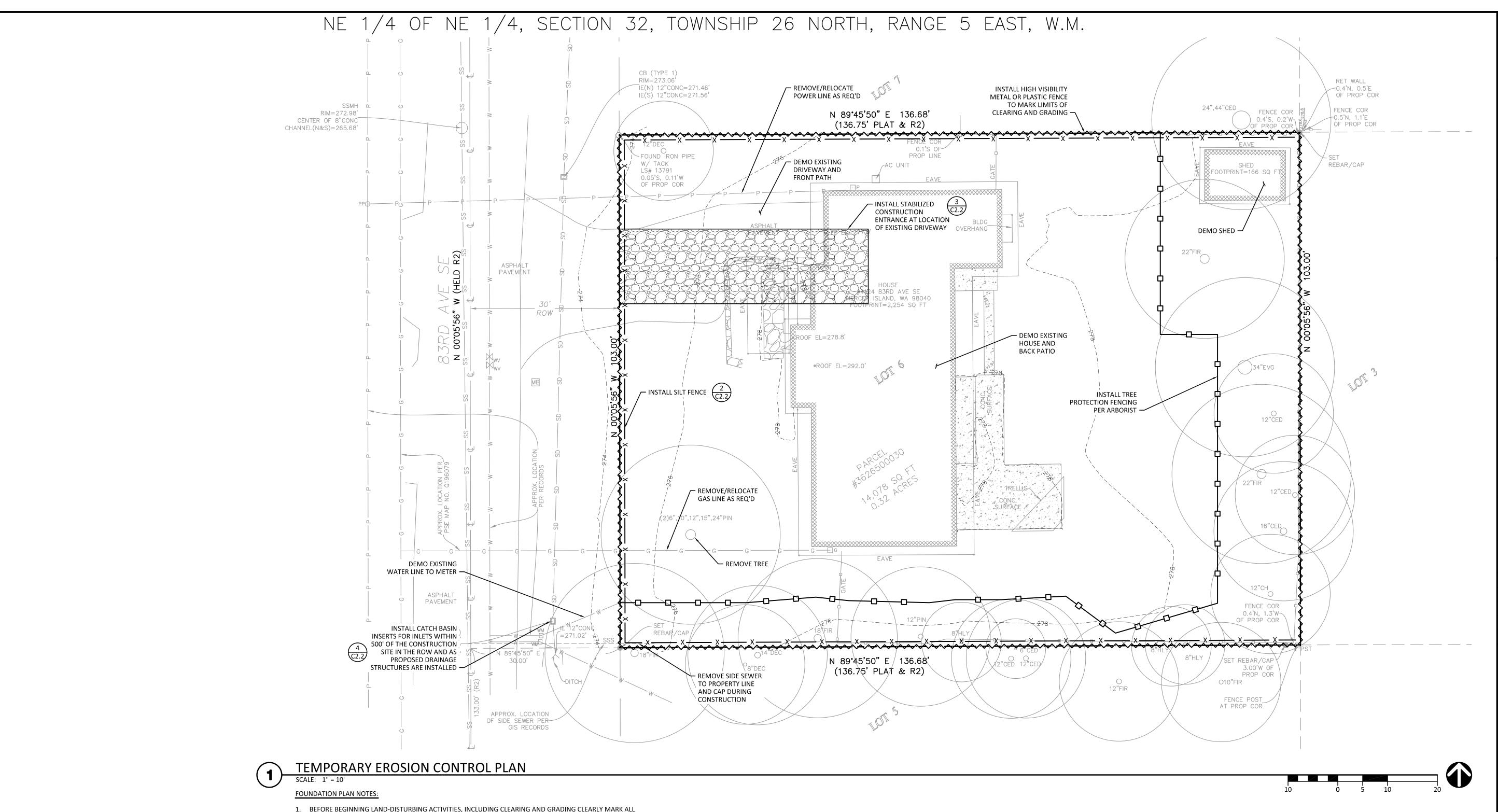
ON STANDARD PLAN B-1B. MAXIMUM PIPE DIAMETER OF 24" FOR CONCRETE PIPE, 30' FOR CMP; A MINIMUM OF

- 5. INLETS: CURB INLETS SHALL CONFORM TO SECTION 8-04 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON STANDARD
- 6. GRATE COVERS: A. COVERS FOR CATCH BASINS AND INLETS SHALL CONFORM TO OLYMPIC FOUNDRY CO. #SM50G OR EQUAL FOR SLOPES LESS THAN 3%. WHERE SLOPES EXCEED 3%, USE OLYMPIC FOUNDRY CO. #SM50V. GRATES SHALL BE DUCTILE IRON AND HAVE THE LETTERS "DUCTS" CAST IN THE COVER.
- B. SOLID COVERS FOR MANHOLES, WHERE PERMITTED, SHALL BE 24" DIAMETER, WITH "DRAIN" CAST IN COVER IN 2" LETTERS, CONFORMING TO OLYMPIC FOUNDRY CO. MH43, INLAND FOUNDRY NO. 835, OR APPROVED EQUAL. C. DRAINAGE STRUCTURES NOT WITHIN PUBLIC RIGHT-OF-WAY SHALL HAVE LOCKING LIDS.
- 7. FRAMES:

FRAMES FOR CATCH BASINS AND INLETS SHALL BE OF CAST IRON OR DUCTILE IRON CONFORMING TO OLYMPIC FOUNDRY CO. SM50 OR EQUAL. VANED GRATES(SM50V) SHALL BE INSTALLED WHERE SHOWN ON THE PLANS, EXCEPT THROUGH-CURB INLET FRAMES WHICH SHALL CONFORM TO OLYMPIC FOUNDRY CO. SM52 OR EQUAL.

		LEGEND	)			
DESCRIPTION	EXISTING	PROPOSED		ABBREV	IATIONS	5
PROPERTY LINE			ABN	ABANDONED	MIN	MINIMUM
ADJACENT PROPERTY LINE			BLDG	BUILDING	MJ	MECHANICAL JOINT
CENTERLINE			BOW	BOTTOM OF WALL	MON	MONUMENT
CLEARING LIMITS		<del></del>	Q.	CENTERLINE	NTS	NOT TO SCALE
SILT FENCE	XX	xx	СВ	CATCH BASIN	ОС	ON CENTER
CONTOUR LINE			СМР	CORRUGATED METAL PIPE	PC	POINT OF CURVATURE
FENCE			со	CLEANOUT	PI	POINT OF INTERSECTION
SANITARY SEWER LINE	$\rightarrow$ SS>SS	→ SS → SS —	CONC	CONCRETE	PIV	POST INDICATOR VALVE
MANHOLE	0		CONST	CONSTRUCTION	P_	PROPERTY LINE
STORM DRAIN MAIN	$\longrightarrowSD- \rightarrowSD$		СР	CONCRETE PIPE	PT	POINT OF TANGENCY
STORM DRAIN PIPE			CU YD	CUBIC YARD	PVC	POLYVINYL CHLORIDE PIPE
ROOF DRAIN	— — R — — R — — R —	R R	DDCVA	DOUBLE DETECTOR CHECK VALVE ASSEMBLY	PVI	POINT OF VERTICAL INTERSECTION
FOOTING DRAIN	— — — F — — F — — F —	FF	DI	DUCTILE IRON PIPE	PVMT	PAVEMENT
PRESSURE LINE	— — — P — — P — — P —	P P	DIA	DIAMETER	PVT	POINT OF VERTICAL TANG.
CATCH BASIN (TYPE 1)			DIP	DUCTILE IRON PIPE	R	RADIUS
CATCH BASIN (TYPE 2)			EA	EACH	REINF	REINFORCEMENT
CLEANOUT	0	0	EJ	EXPANSION JOINT	RJ	RESTRAINED JOINT
CLEANOUT AND WYE			ELEV	ELEVATION	RET	RETAINING
GRADE BREAK			EOP	EDGE OF PAVEMENT	RT	RIGHT
SURFACE SWALE	· > · · > · ·	· >- · · >- · ·	EX	EXISTING	SD	STORM DRAIN
DRAINAGE ARROW			FDC	FIRE DEPT. CONNECTION	SECT	SECTION
WATER LINE	WA WA		FFE	FINISHED FLOOR ELEVATION	SDMH	STORM DRAIN MANHOLE
WATER METER	H	8	FH	FIRE HYDRANT	SIM	SIMILAR
FIRE HYDRANT	<b>,</b>	<b>X</b>	FL	FLANGE	SQ	SQUARE
FDC	V	₩	FT	FEET/FOOT	SS	SANITARY SEWER
PIV	0	•	GV	GATE VALVE	SSMH	SANITARY SEWER MANHOLE
GATE VALVE	X	X	НР	HIGH POINT	STA	STATION
TEE	II.	Д	НТ	HEIGHT	STD	STANDARD
90° BEND	Ţ	Ļ	ID	INSIDE DIAMETER	STL	STEEL
THRUST BLOCKING	Δ	<b>A</b>	IE	INVERT ELEVATION	ТВ	THRUST BLOCK
CAP		u	L	LENGTH/LINE	TOC	TOP OF CURB
CONCRETE PAVEMENT	Δ Δ	4 4	LCPE	LINED CORRUGATED POLYETHYLENE PIPE	TOW	TOP OF WALL
ASPHALT PAVEMENT			LF	LINEAL FOOT	ТОР	TOP ELEVATION
CRUSHED SURFACING			LP	LOW POINT	TYP	TYPICAL
ROCKERY	000000000	00000000	LT	LEFT	VC	VERTICAL CURVE
SPOT ELEVATION	20.0	20.0	MAX	MAXIMUM	W/	WITH
TELEPHONE LINE	— — — T — — T — — T —		MECH	MECHANICAL	WM	WATER METER
POWER LINE	— — — E — — E — — E —	EE	МН	MANHOLE		
GAS LINE	— — — G — — — G —					
SIGN	Д	Ф				

VICINITY MAP



- 1. BEFORE BEGINNING LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING CLEARLY MARK ALL CLEARING LIMITS.
- 2. ALL DISTURBED AREAS ON AND OF-SITE SHALL BE COMPOST-AMENDED PER THE REQUIREMENTS OF BMP T5.13 IN THE STORMWATER MANUAL VOLUME V, CHAPTER 5.
- 3. SOILS MUST BE STABILIZED AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST.
- 4. CONCRETE TRUCKS MUST NOT BE WASHED OUT ONTO THE GROUND, OR INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS. EXCESS CONCRETE MUST NOT NE DUMPED ON-SITE.
- 5. ADDITIONAL BMPS MAY BE REQUIRED DURING CONSTRUCTION.

250 4TH AVE. S., SUITE 200 EDMONDS, WASHINGTON 98020 PHONE (425) 778-8500 FAX (425) 778-5536



MARK DATE DESCRIPTION
O3/23/22 PERMIT SUBMITTAL
O5/12/22 PERMIT RESUBMITTAL
O5/12/22 PERMIT RESUBMITTAL
O5/12/22 PERMIT RESUBMITTAL

03/23/22

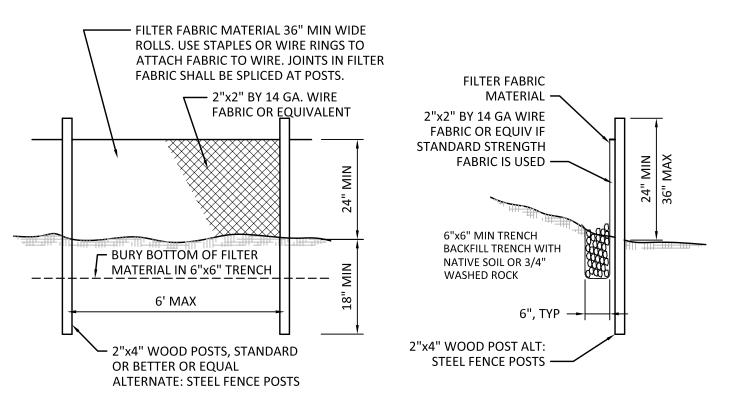
DATE:

BRUMBAUGH RESIDENCE
4124 83RD AVE SE
MERCER ISLAND, WA 98040
TEMPORARY EROSION

SHEET:

**C2.1** 

# NE 1/4 OF NE 1/4, SECTION 32, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.



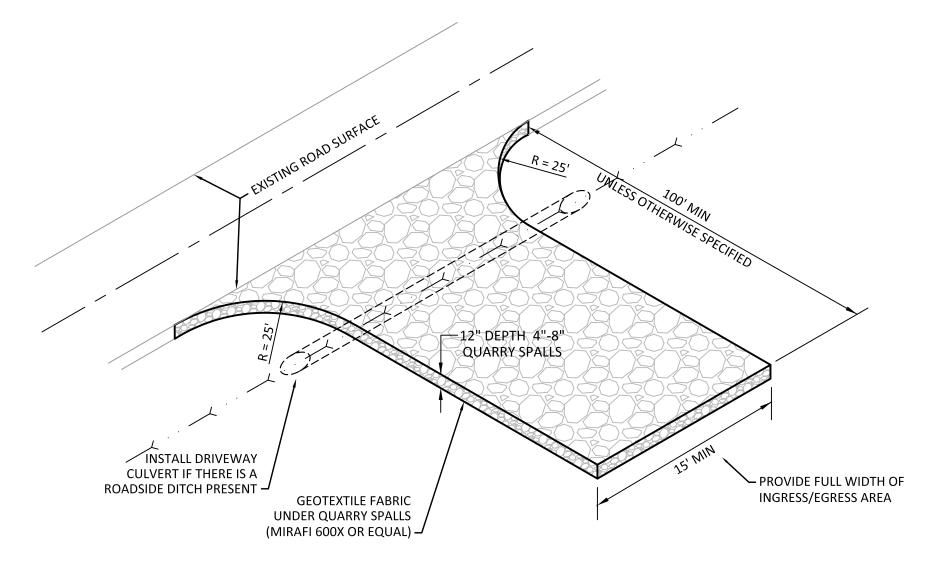
#### SILT FENCE NOTES:

- 1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
- 2. THE SILT FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 18 INCHES).
- A SHALLOW TRENCH SHALL BE EXCAVATED, ROUGHLY 6 INCHES WIDE AND 6 INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POSTS TO ALLOW THE LOWER EDGE OF THE FILTER FABRIC TO BE SECURED WITH GRAVEL.
   WHEN FILTER FABRIC NOT AS STRONG AS MIRAFI 700X IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED
- SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE MESH SHALL EXTEND INTO THE SHALLOW TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

  5. THE MIRAFI 700X FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND AT LEAST 18 INCHES OF THE FABRIC
- SHALL BE BURIED IN THE SHALLOW TRENCH. THE FILTER FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE AND SHALL NOT BE STAPLED TO TREES.

  6. WHEN EXTRA-STRENGTH FILTER FABRIC (MIRAFI 700X OR EQUAL) AND FOUR (4') POST SPACING IS USED, THE WIRE
- 6. WHEN EXTRA-STRENGTH FILTER FABRIC (MIRAFI 700X OR EQUAL) AND FOUR (4') POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF NOTE 5 APPLYING.
- 7. THE TRENCH SHALL BE BACKFILLED WITH NATIVE SOIL OR 3/4" -1.5" WASHED ROCK.
- 8. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED. THE NEWLY DISTURBED AREAS RESULTING FROM SILT FENCE REMOVAL SHALL BE IMMEDIATELY SEEDED AND MULCHED, OR OTHERWISE PERMANENTLY STABILIZED TO THE SATISFACTION OF THE CIVIL INSPECTOR.
- 9. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- 10.MAINTENANCE: ANY DAMAGED OR CLOGGED FENCE SHALL BE REPAIRED/REPLACED IMMEDIATELY. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT DEPTH IS 6 INCHES OR GREATER. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.

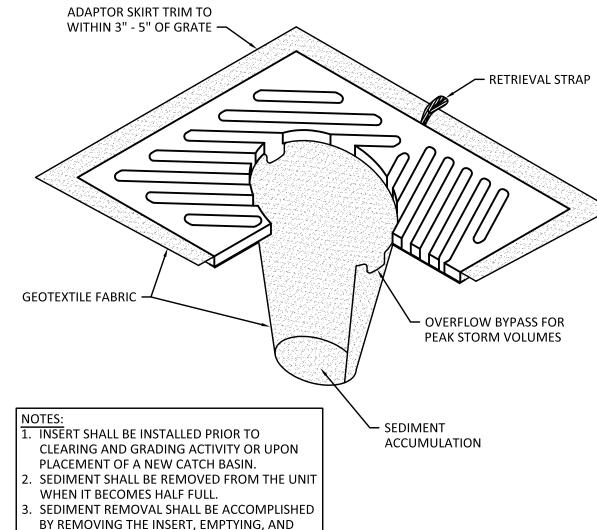




#### STABILIZED CONSTRUCTION ENTRANCE NOTES:

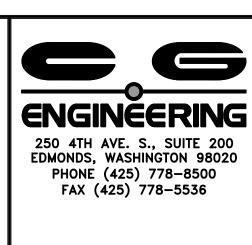
- 1. INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. THE QUARRY SPALLS SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS IN THE PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- 2. AGGREGATE: 4" TO 8" QUARRY SPALLS PER WSDOT STD. SPECS. SEC. 9-13.6.\
- 3. ENTRANCE DIMENSIONS: THE AGGREGATE LAYER MUST BE AT LEAST 12" THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 100 FEET (UNLESS OTHERWISE APPROVE BY CIVIL INSPECTOR).
- 4. WASHING: IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH THE ROCK ENTRANCE, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
- 5. MAINTAINENCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2" STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY BY SWEEPING. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY.

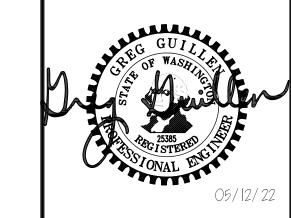




RE-INSERTING INTO THE CATCH BASIN.

SCALE: NTS





DESCRIPTION						
DATE	03/23/22	05/12/22				
MARK						
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DESIGN: BJL

DRAWN: JCP

CHECK: JPU

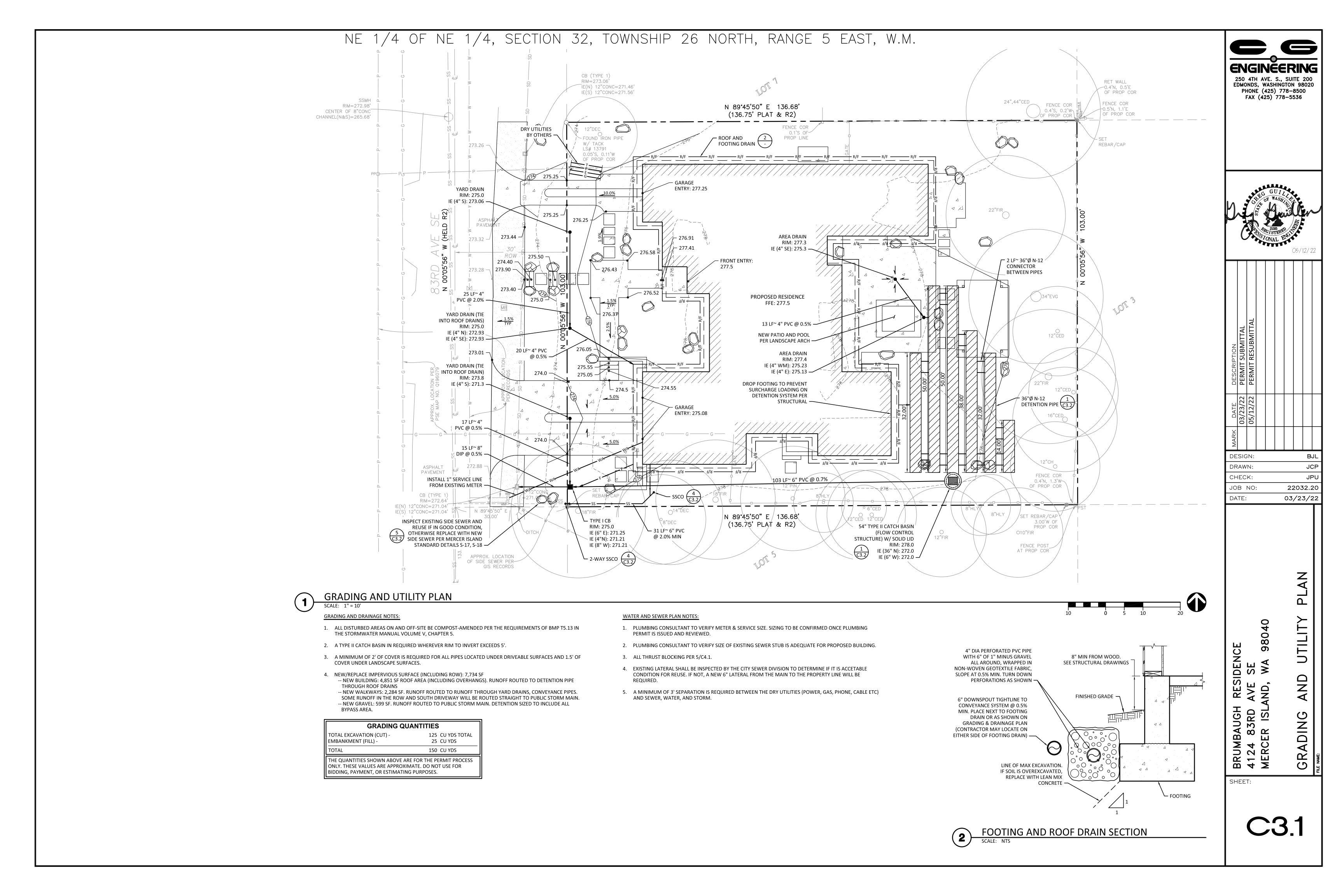
JOB NO: 22032.20

DATE: 03/23/22

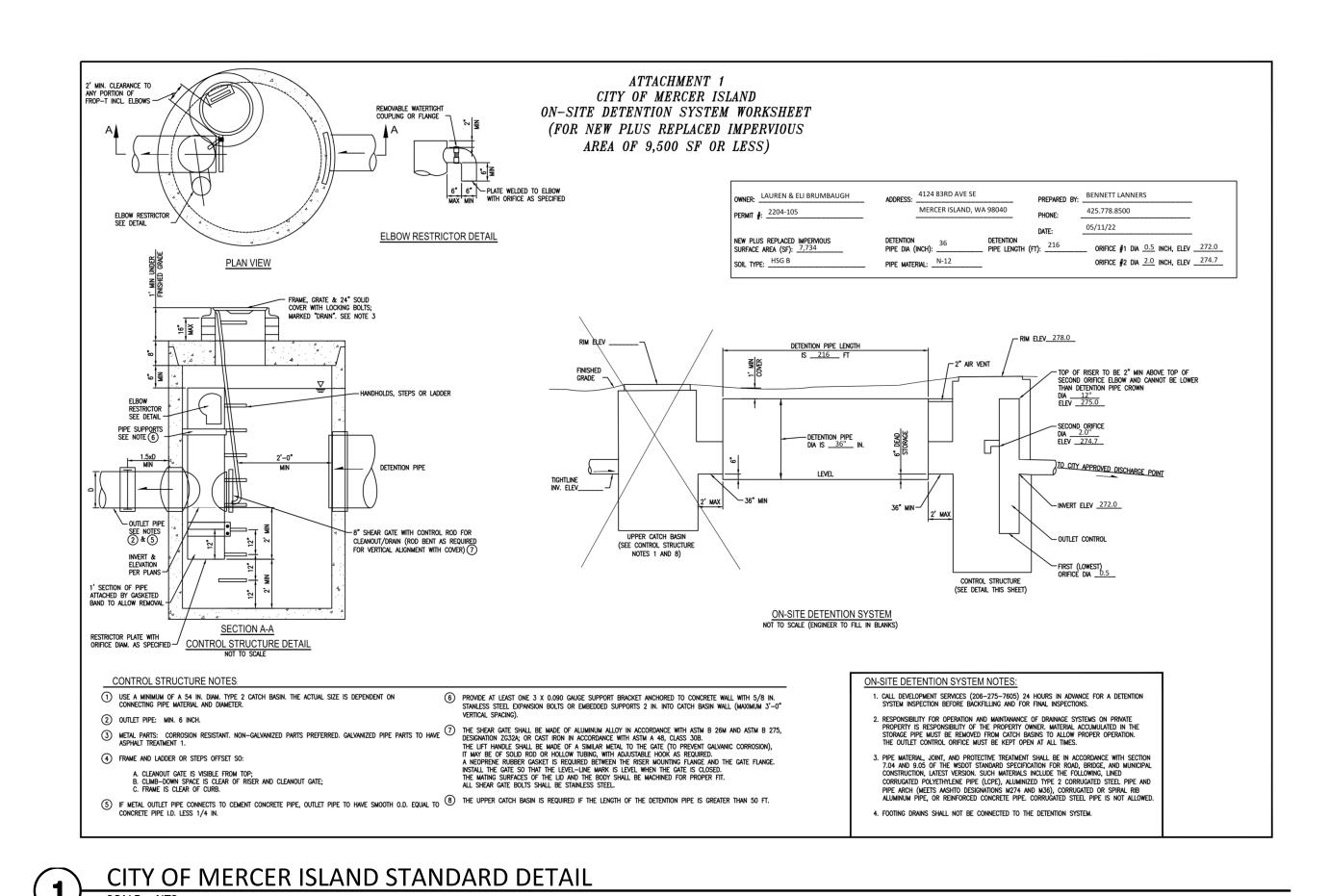
4124 83RD AVE SE
MERCER ISLAND, WA 98040
TEMPORARY EROSION
CONTROL DETAILS

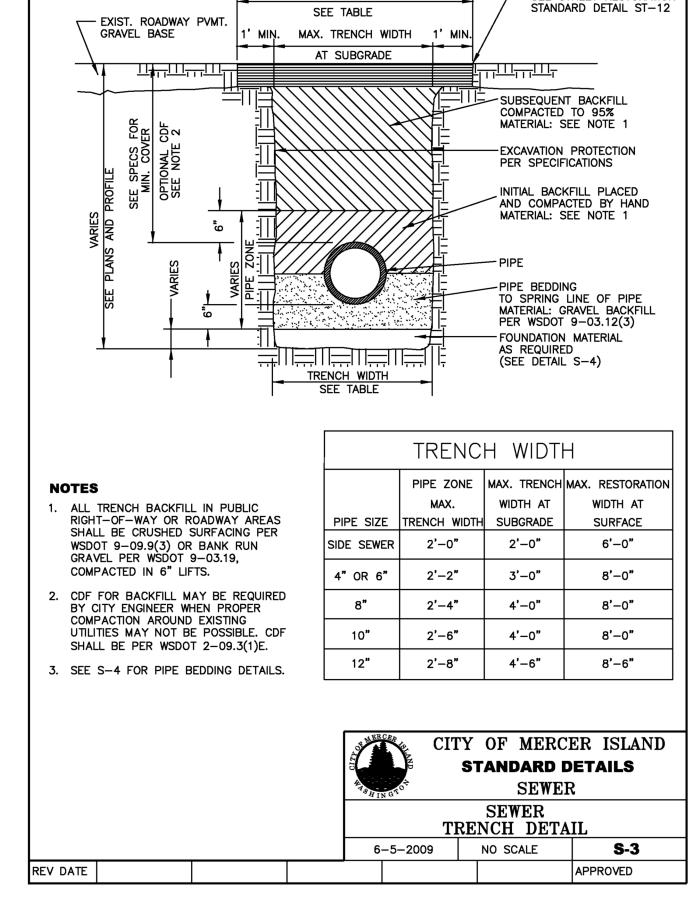
SHEET:

C2.2



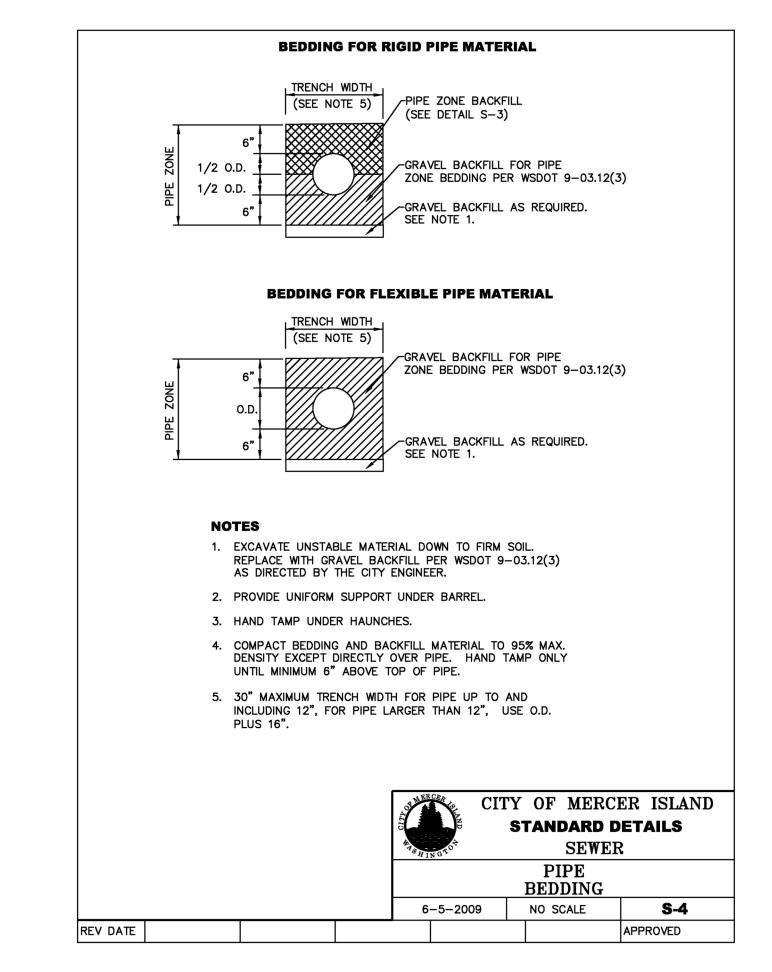
# NE 1/4 OF NE 1/4, SECTION 32, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.





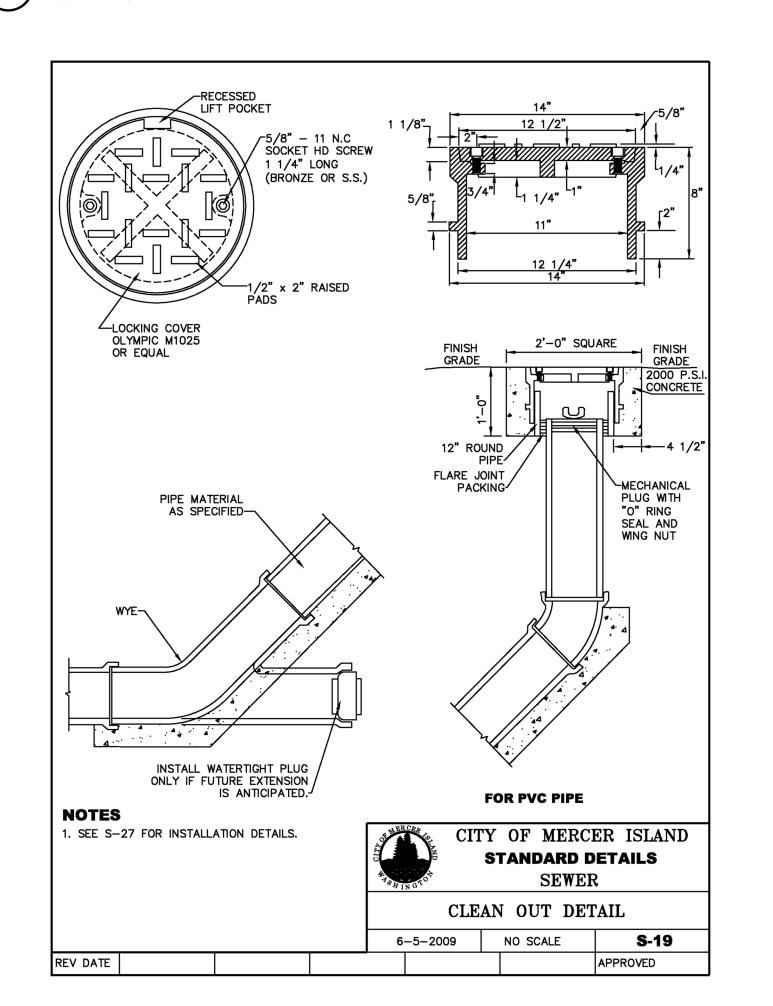
TRENCH AND RESTORATION LIMITS

SEE STREET RESTORATION

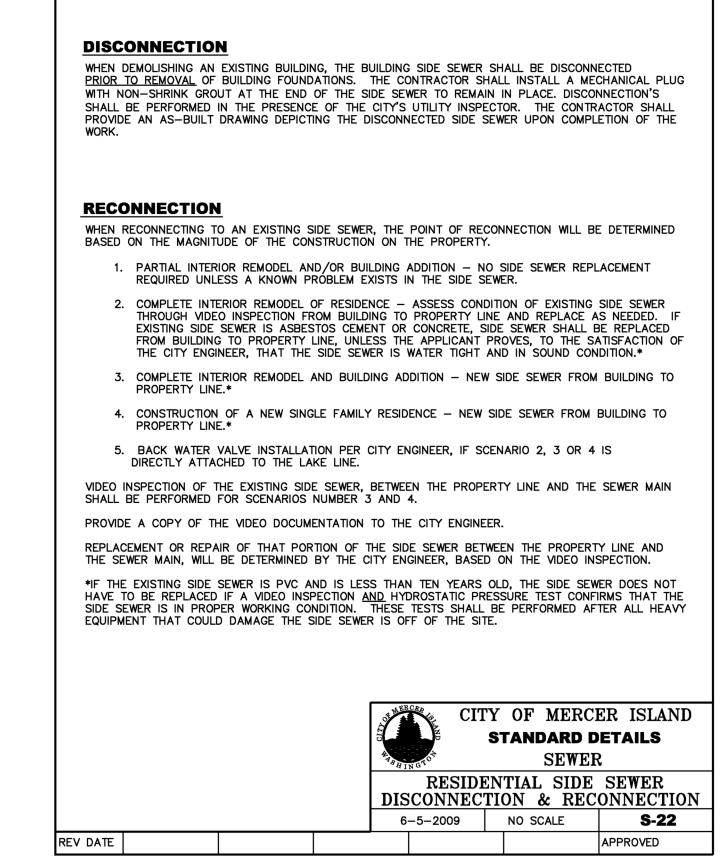


CITY OF MERCER ISLAND STANDARD DETAIL

# CITY OF MERCER ISLAND STANDARD DETAIL

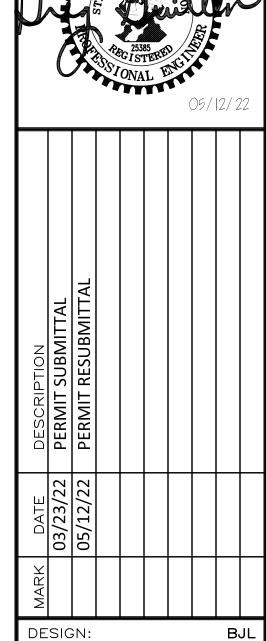






CITY OF MERCER ISLAND STANDARD DETAIL





JCP PRAWN: CHECK: JPU 22032.20 JOB NO: DATE: 03/23/22

> AIL

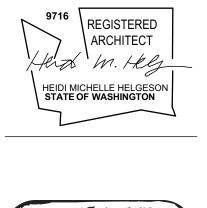
98 S AVE ND <u>S</u> G

9

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H 2 D
ARCHITECTURE

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> DATE: 4/12/2022 REV1: 5/13/2022

PERMIT SET

MAIN FLOOR AND ROOF DEMOLITION PLAN

Ν

ROOF DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS

DEMO WALLS

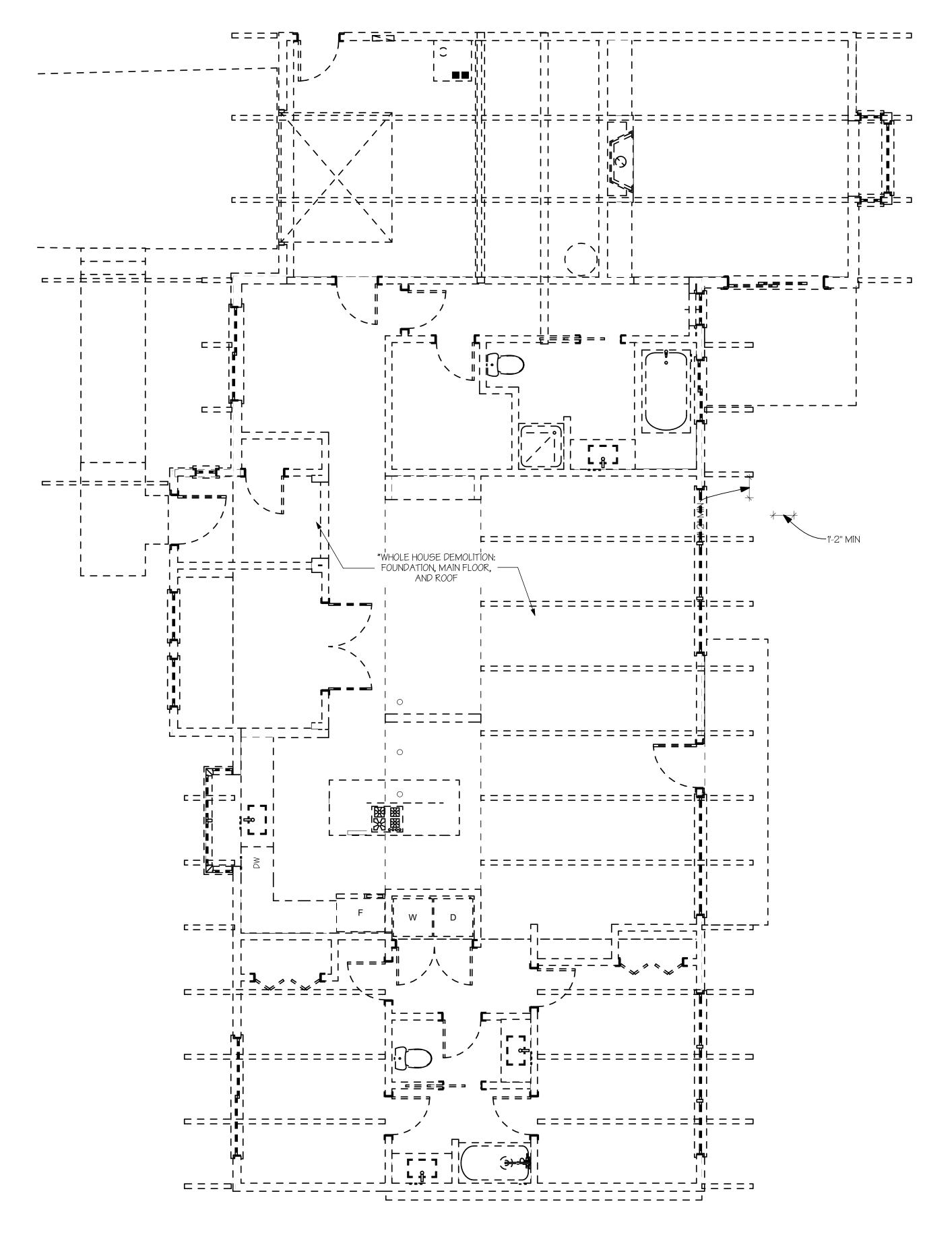
NOTES:

1. VERIFY ALL ITEMS FOR SALVAGE WITH OWNER PRIOR TO DEMOLITION.

STRUCTURAL ENGINEER WITH QUESTIONS.

2. ALL SHORING TO BE THE RESPONSIBILITY OF THE BUILDER. CONTACT

\*WHOLE HOUS'E DEMOLITION: — FOUNDATION, MAIN FLOOR, —



MAIN FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS
DEMO WALLS

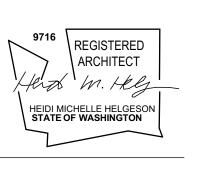
NOTES:

1. VERIFY ALL ITEMS FOR SALVAGE WITH OWNER PRIOR TO DEMOLITION.

2. ALL SHORING TO BE THE RESPONSIBILITY OF THE BUILDER. CONTACT STRUCTURAL ENGINEER WITH QUESTIONS.

A1 0







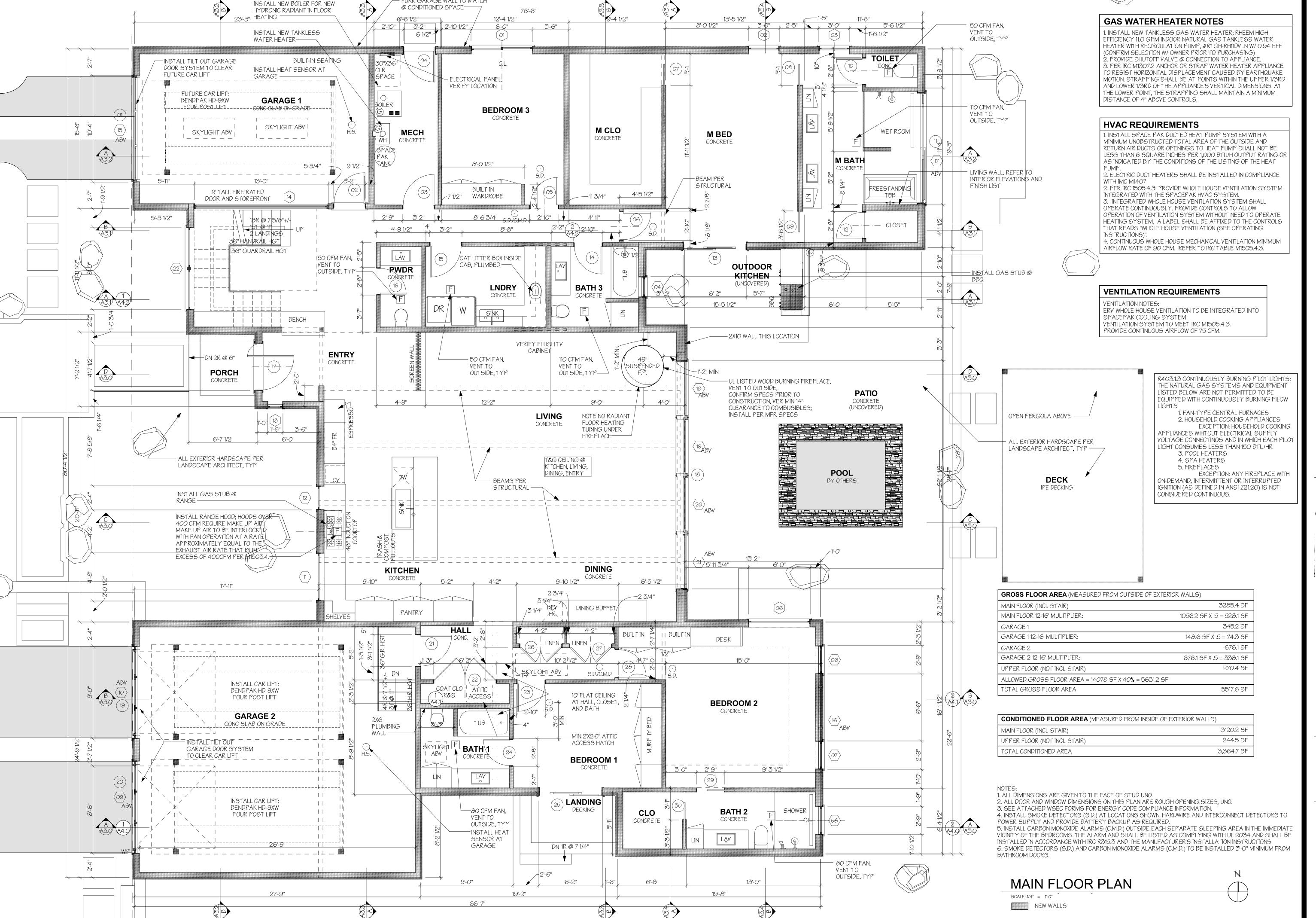
ARCHITECT U R E DESIGN

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DATE: 4/12/2022 REV1: 5/13/2022

PERMIT SET

MAIN FLOOR PLAN



— FURR GARAGE WALL TO MATCH



ARCHITECT U R E

D E S I G N

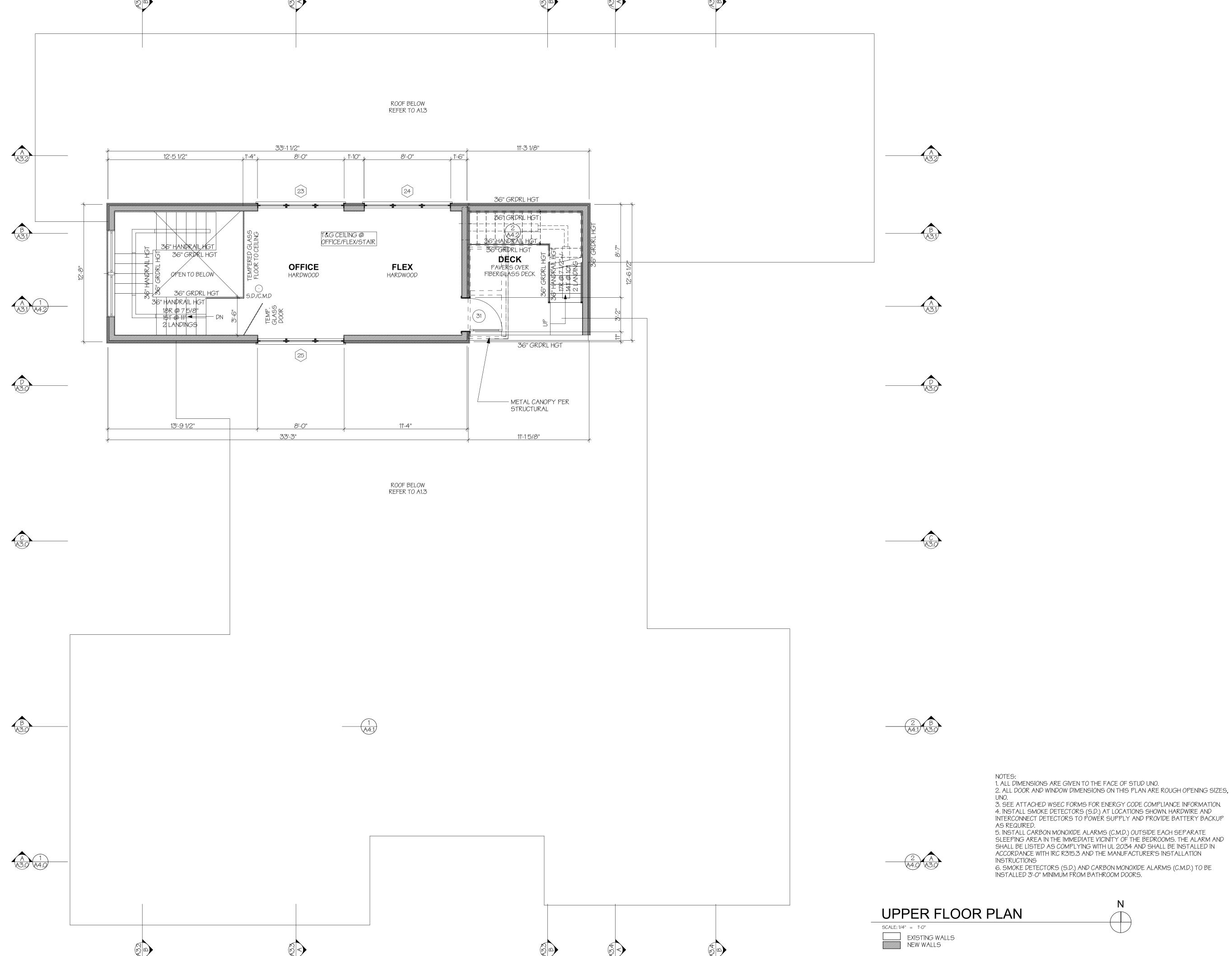
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DATE: 4/12/2022 REV1: 5/13/2022

PERMIT SET

UPPER FLOOR PLAN







H 2 D
ARCHITECTURE

+
DESIGN

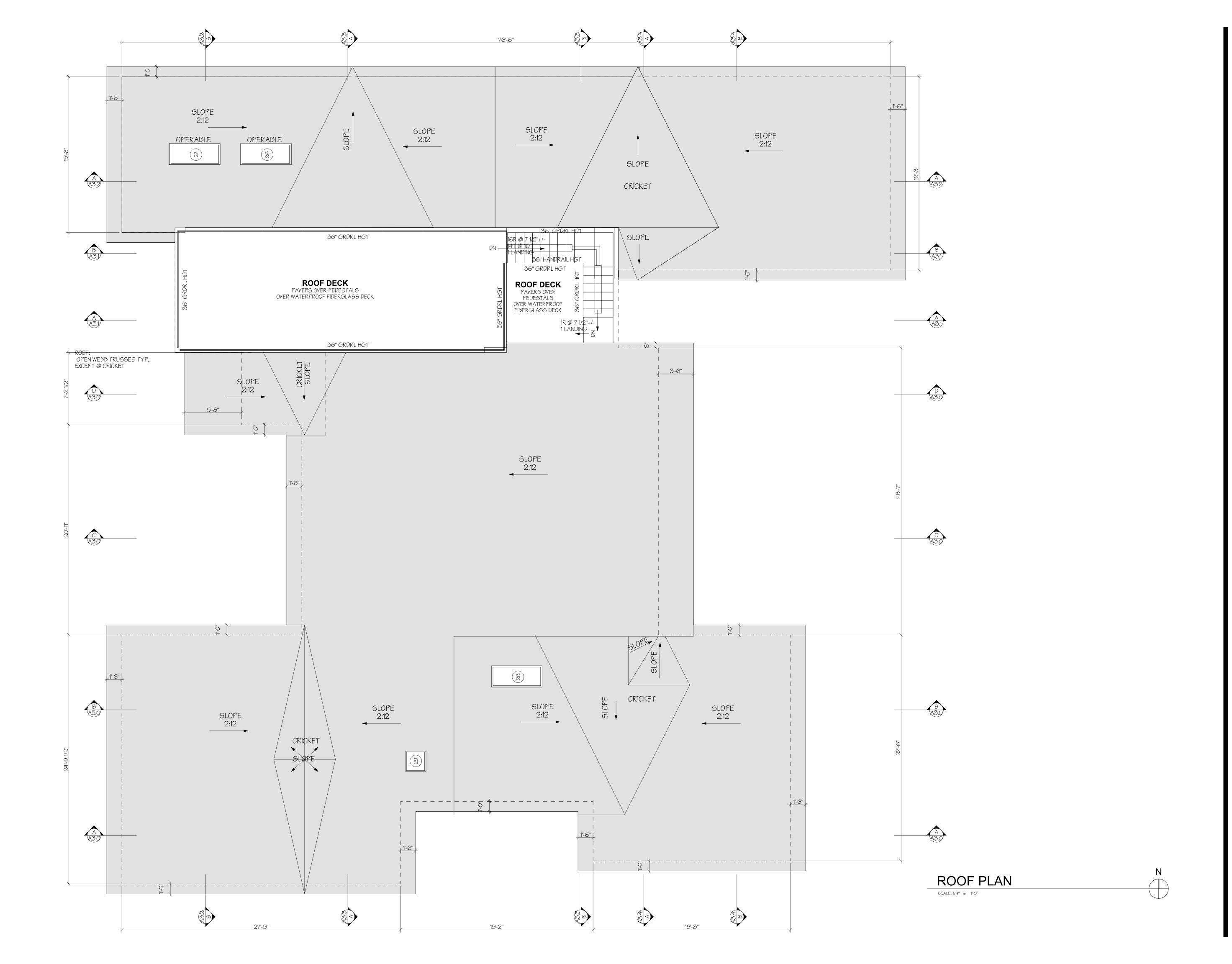
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> DATE: 4/12/2022 REV1: 5/13/2022

PERMIT SET

ROOF PLAN

A1.3



					DOOI	R SCHEDULE			
		R.O. DIMENS	SIONS *SEE NOTE 1	DOOR LEAF	DIMENSIONS	TVDE	TUICK	AREA	111/4
	ID	WIDTH	HEIGHT	W	HT	TYPE	THICK	(SF) NOTES	U-VA
1AIN FLOOR		•							•
	<i>O</i> 1	10'-4"	8'-2 1/2"	10'-0"	8'-0"	TILT OUT I	0'-1 3/4"	0.00 GARAGE DOOR; VER R.O. W/ SELECTED DOOR	
	02	3'-2"	9'-2 1/2"	3'-0"	9'-0"	INT SWING I	0'-1 3/8"	0.00 SELF CLOSE; 20 MIN RATED TEMP. GLASS	
	03	3'-2"	8'-2 1/2"	3'-0"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
	04	3'-2"	8'-2 1/2"	3'-0"	8'-0"	SWING I	0'-1 3/4"	21.00 MFR: TO BE SELECTED; SIMPSON OR EQ FIBERGLASS DR	0.20
	05	2'-10"	8'-2 1/2"	2'-8"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
	06	2'-10"	8'-2 1/2"	2'-8"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
	07	3'-1"	8'-2 1/2"	3'-0"	8'-0"	POCKET	0'-1 3/8"	0.00 VER R.O. W/ POCKET DR MFR	
	08	3'-1"	8'-2 1/2"	3'-0"	8'-0"	POCKET	0'-1 3/8"	0.00 VER R.O. W/ POCKET DR MFR	
	09	3'-1"	8'-2 1/2"	3'-0"	8'-0"	POCKET	0'-1 3/8"	0.00 VER R.O. W/ POCKET DR MFR	
	10	2'-8"	8'-2 1/2"	2'-6"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
	11	10'-10"	8'-2 1/2"	10'-8"	8'-0"	S.G.D. 1	0'-1 3/4"	75.30 TEMPERED	0.2
	12	2'-8"	8'-2 1/2"	2'-6"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
	13	6'-2"	8'-2 1/2"	6'-0"	8'-0"	S.G.D. 1	0'-1 3/4"	42.00 TEMPERED	0.2
	14	2'-10"	8'-2 1/2"	2'-8"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
	15	3'-2"	8'-2 1/2"	3'-0"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
	16	2'-8"	8'-2 1/2"	2'-6"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
	17	4'-7 1/2"	9'-2 1/2"	4'-6"	9'-0"	PIVOT	0'-1 3/4"	40.50	
	18	22'-2"	9'-2 1/2"	22'-0"	9'-0"	S.G.D. 11	0'-1 3/4"	198.00 TEMPERED, VER CONFIGURATION	0.2
	19	8'-4 1/2"	8'-2 1/4"	8'-0"	8'-0"		0'-1 3/4"	0.00	
	20	8'-4 1/2"	8'-2 1/4"	8'-0"	8'-0"		0'-1 3/4"	0.00	
	21	3'-2"	8'-2 1/2"	3'-0"	8'-0"	INT SWING II	0'-1 3/8"	0.00 1-3/8" SOLID CORE 20 MIN RATED W/ SELF CLOSER	
	22	6'-2"	8'-2 1/2"	6'-0"	8'-0"	INT SWING III	0'-1 3/8"	0.00	
	23	2'-10"	8'-2 1/2"	2'-8"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
	24	2'-8"	8'-2 1/2"	2'-6"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
	25	6'-2"	8'-2 1/2"	6'-0''	8'-0"	S.G.D. 1	0'-1 3/4"	42.00 TEMPERED	0.2
	26	4'-2"	8'-2 1/2"	4'-0"	8'-0"	INT SWING III	0'-1 3/8"	0.00	
	27	4'-2"	8'-2 1/2"	4'-0"	8'-0"	INT SWING III	0'-1 3/8"	0.00	
	28	2'-10"	8'-2 1/2"	2'-8"	8'-0"	INT SWING II	0'-1 3/8"	0.00	
ļ	29	2'-9"	8'-0 1/2"	2'-8"	7'-10"	POCKET	0'-1 3/8"	0.00 VER R.O. W/ POCKET DR MFR	
	30	2'-9"	8'-0 1/2"	2'-8"	7'-10"	POCKET	0'-1 3/8"	0.00 VER R.O. W/ POCKET DR MFR	
PPER FLOOR		1			<u> </u>		<u> </u>		
OTAL EXTERIOR (	000R <sup>3</sup> 1RF	A 3'-2"	8'-2 1/2"	3'-0"	8'-0"	SWING II	0'-1 3/4"	21.00 TEMPERED	0.20
2111L L/11 LINION #	JUN / 111L/	Υ	1		l	1	!	439.80	

MANUFACTURER: INTERIOR: SIMPSON OR EQUAL, SOLID CORE SLAB DOOR U.N.O. (SELECTION TO BE CONFIRMED) EXTERIOR: ZOLA OR SELECTED, THERMO ALUMINIMA OR SELECTED

DR #4: SIMPSON OR EQUAL, SOLID CORE SLAB DOOR, FIBERGLASS; TO BE SELECTED

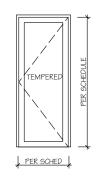
EXTERIOR DOORS TO BE NFRC 100 LABELED AND CERTIFIED BY THE MANUFACTURER.

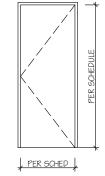
1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS 2. SEE ELEVATIONS FOR CONFIGURATION

3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION

4. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS

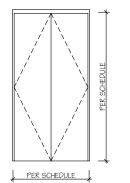
## INTERIOR DOOR TYPES:



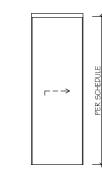


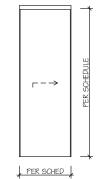
INT SWING II





INT SWING III

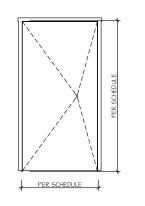


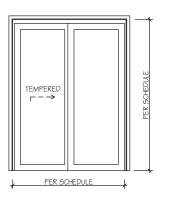


POCKET

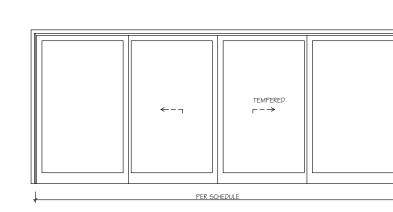
INT SWING I

EXTERIOR DOOR TYPES:



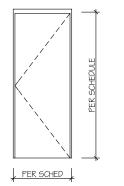


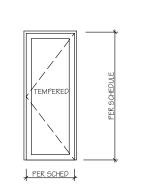
<u>S.G.D. 1</u>

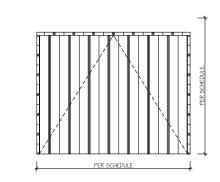


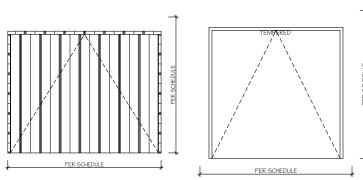
<u>S.G.D. 2</u>

PIVOT









SWING 1 SWING II TILT OUT I

TILT OUT II

				WIN	IDOW SO	HEDUL	.E		
		ROUGH OPE	NING *SEE NOTE 1	ROUGH HEAD			AREA		
	ID	WIDTH	HEIGHT	FROM SUBFLR.	TYPE	OPER	(SF)	NOTES	U-VAL
1AIN FLOOR		1					1		
	01	6'-0"	5'-4"	8'-0"	Α	HS	24.00	EGRESS	0.25
	02	3'-0"	6'-6"	8'-0"	В	C/A	19.50		0.25
	03	3'-0"	6'-6"	8'-0"	В	C/A	19.50		0.25
	04	2'-0"	5'-6"	8'-0"	Α	HS	16.00	TEMPERED, TRANSLUCENT	0.2
	06	2'-9"	6'-0"	8'-0"	D	С	16.30	EGRESS	0.25
	06	6'-0"	6'-0"	8'-0"	С	P/P/P	16.30	EGRESS	0.25
	07	2'-9"	6'-0"	8'-0"	D	С	16.30		0.2
	08	2'-9"	3'-0"	8'-0"	E	Α	16.30	TEMPERED; TRANSLUCENT	0.2
	09	9'-0"	2'-6"	11'-O"	F	P/P/P	27.00		0.2
	10	9'-0"	2'-6"	11'-O"	F	P/P/P	27.00		0.2
	11	4'-8"	5'-0"	8'-0"	G	P	18.70		0.2
	12	2'-4"	5'-0"	8'-0"	G	P	9.30		0.2
	13	1'-6"	9'-0"	9'-2 1/2"	G	P	1.50	TEMPERED	0.2
	14	13'-0"	9'-0"	9'-0"	1	P	117.00	INTERIOR WINDOW; STOREFRONT T.B.S. 20 MIN RATED, TEMPERED	0.2
LERESTORY/U	IPPER FL	.00R							
	16	12'-0"	3'-0"	12'-3"	F	P/P/P	30.90		0.2
	15	10'-0"	2'-6"	13'-0"	F	P/P/P	30.00		0.2
	17	10'-8"	3'-0"	13'-0"	ſ	P/P	30.90		0.2
	18	5'-4"	3'-0"	14'-3"	G	P	16.00		0.2
	19	5'-4"	3'-0"	14'-3"	G	P	16.00		0.2
	20	5'-4"	3'-0"	14'-3"	G	P	16.00		0.2
	21	5'-4"	3'-0"	14'-3"	G	P	16.00		0.2
	22	8'-0"	12'-0"	19'-8"	Н	P/P/P/P	112.00	TEMPERED	0.2
	23	8'-0"	3'-0"	8'-0"	F	P/P/P	16.00		0.2
	24	8'-0"	3'-0"	8'-0"	F	P/P/P	16.00		0.2
	25	8'-0"	3'-0"	8'-0"	F	P/P/P	16.00	TEMPERED	0.2
00F - RIDGE		,	- !	1		1	1		
	26	1'-10"	5'-0"			OPER.	9.20	MARVIN OR APPROVED EQUAL OPERABLE SKYLIGHT	0.5
	27	1'-10"	5'-0"			OPER.	9.20	MARVIN OR APPROVED EQUAL OPERABLE SKYLIGHT	0.5
	28	1'-10"	5'-0"			FIXED	9.20	MARVIN OR APPROVED EQUAL FIXED SKYLIGHT	0.5
	29	1'-10"	1'-10"			FIXED	3.40	MARVIN OR APPROVED EQUAL FIXED SKYLIGHT	0.5

NFRC 100 LABELED AND CERTIFIED BY THE MANUFACTURER

MANUFACTURER: ZOLA OR SELECTED MARVIN SKYCOVE AND SKYLIGHTS THERMO ALUMINIMA OR SELECTED SERIES:

NOTES:

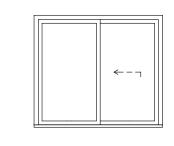
1. ADD 1/2" TO THE BOTTOM OF THE ROUGH OPENING, UNLESS NOTED OTHERWISE. 2. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS

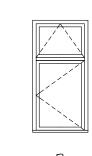
3. SEE ELEVATIONS FOR CONFIGURATION 4. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION

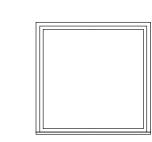
5. VERIFY EXISTING ROUGH OPENINGS WHERE WINDOWS ARE BEING REPLACED IN THE EXISTING OPENINGS PRIOR TO ORDERING THE WINDOWS

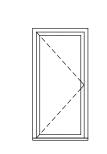
6. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS
7. TRANSLUCENT GLASS TO BE SATIN ETCH. PROVIDE GLASS SAMPLE TO OWNER/ARCH FOR APPROVAL PRIOR TO

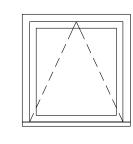
8. ALL WINDOWS IN SHOWERS TO HAVE INTERIOR SURFACE RATED FOR WET LOCATIONS, TYP.

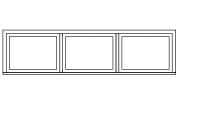












OPERABILITY

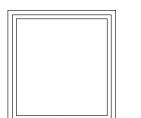
A = AWNING C = CASEMENT

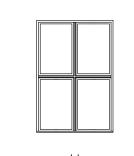
S.H. = SINGLE HUNG

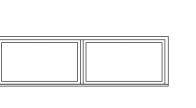
P = PICTURE

H = HOPPER

H.S. = HORIZONTAL SLIDER









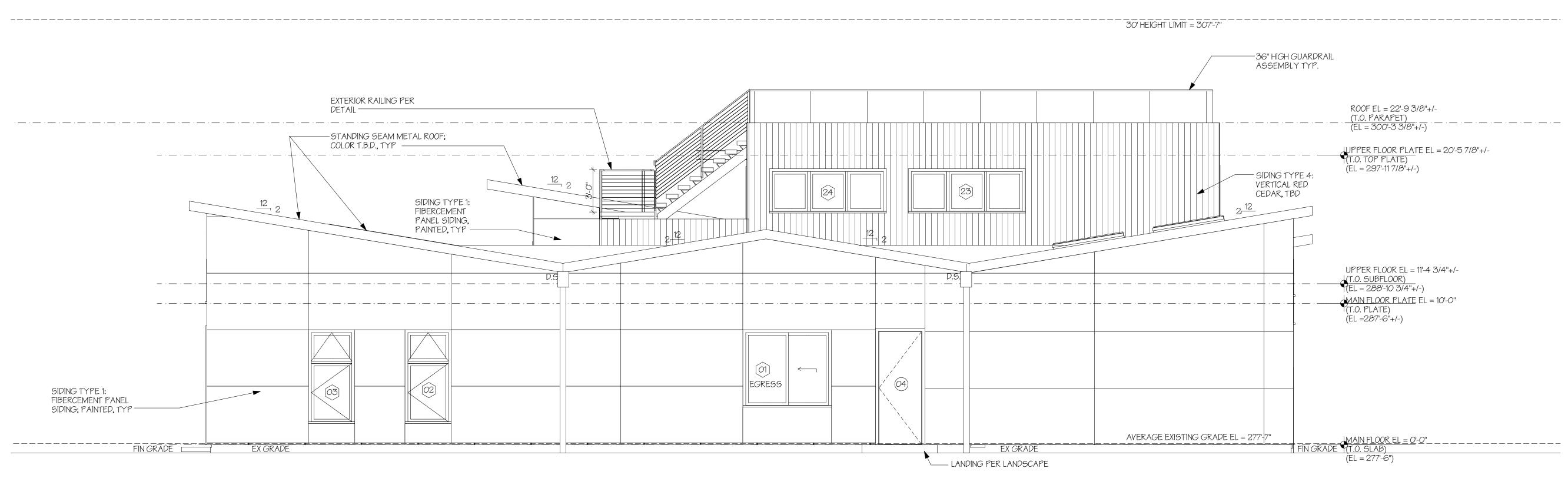
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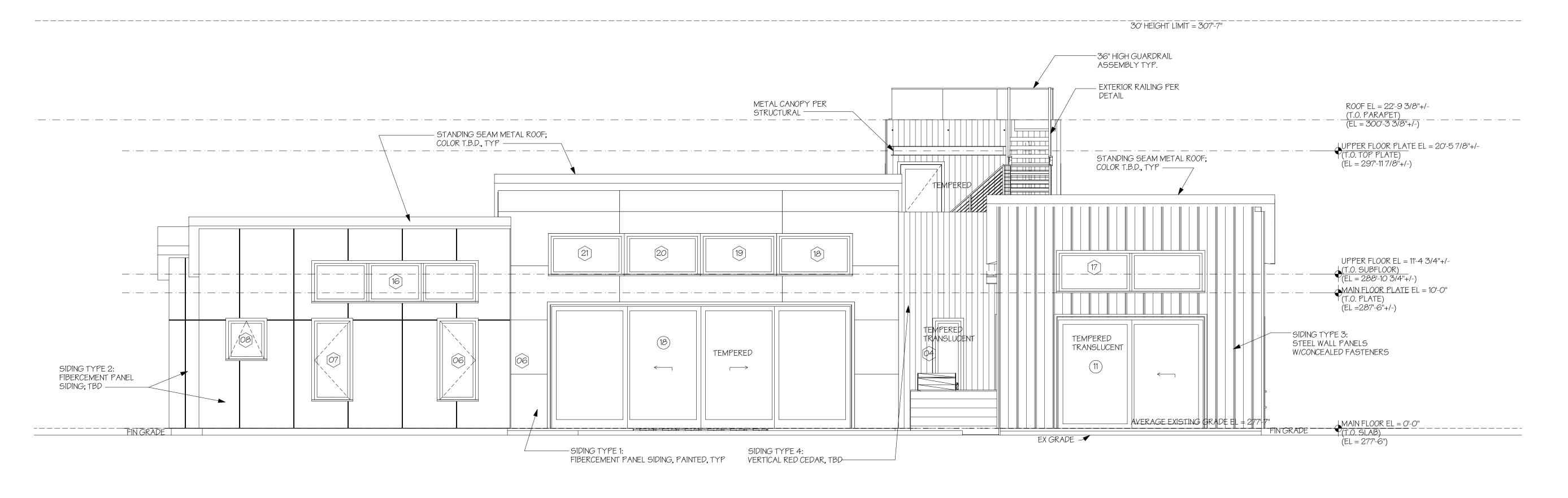
DATE: 4/12/2022 REV1: 5/13/2022

PERMIT SET

WINDOW AND DOOR SCHEDULES



# NORTH ELEVATION



# EAST ELEVATION

SCALE: 1/4" = 1'-0"

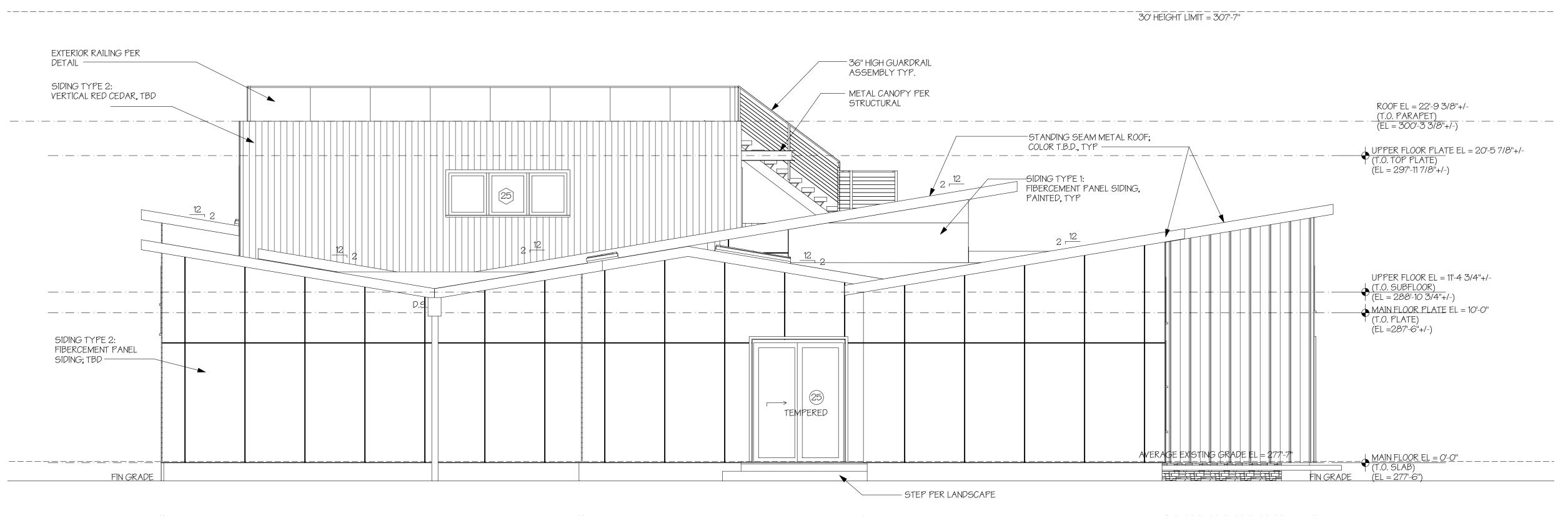


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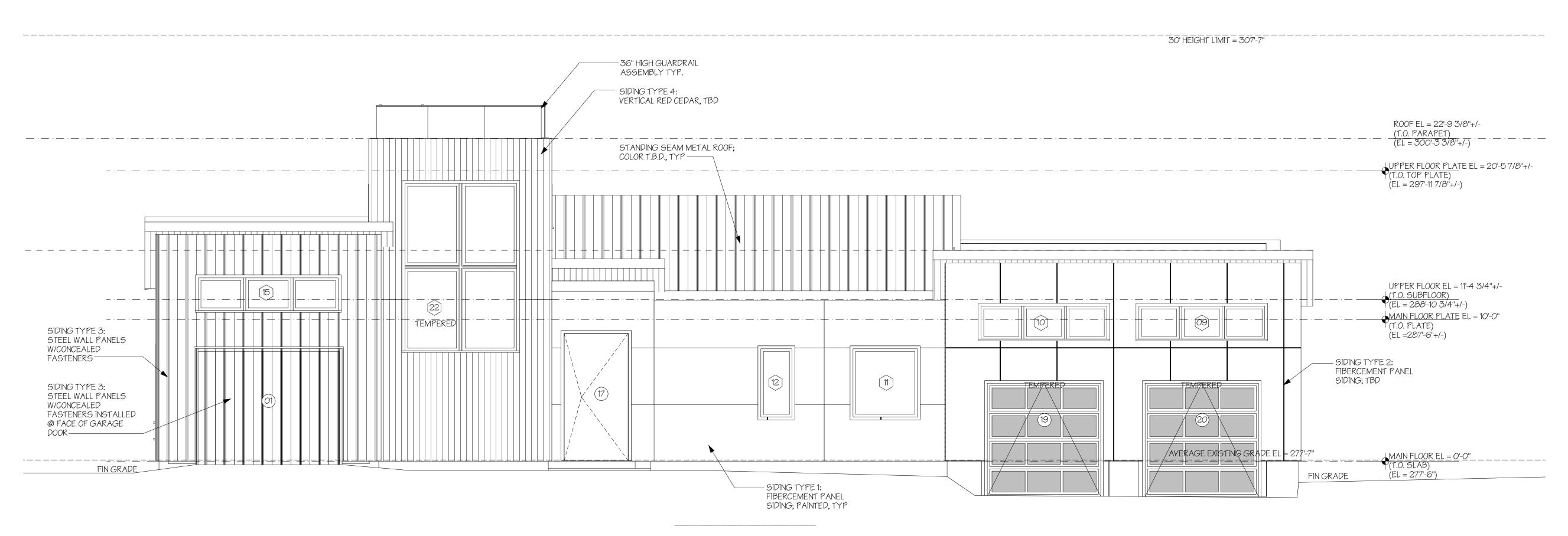
DATE: 4/12/2022 REV1: 5/13/2022

PERMIT SET

**EXTERIOR ELEVATIONS** 



# SOUTH ELEVATION



# WEST ELEVATION

SCALE: 1/4" = 1'-0"



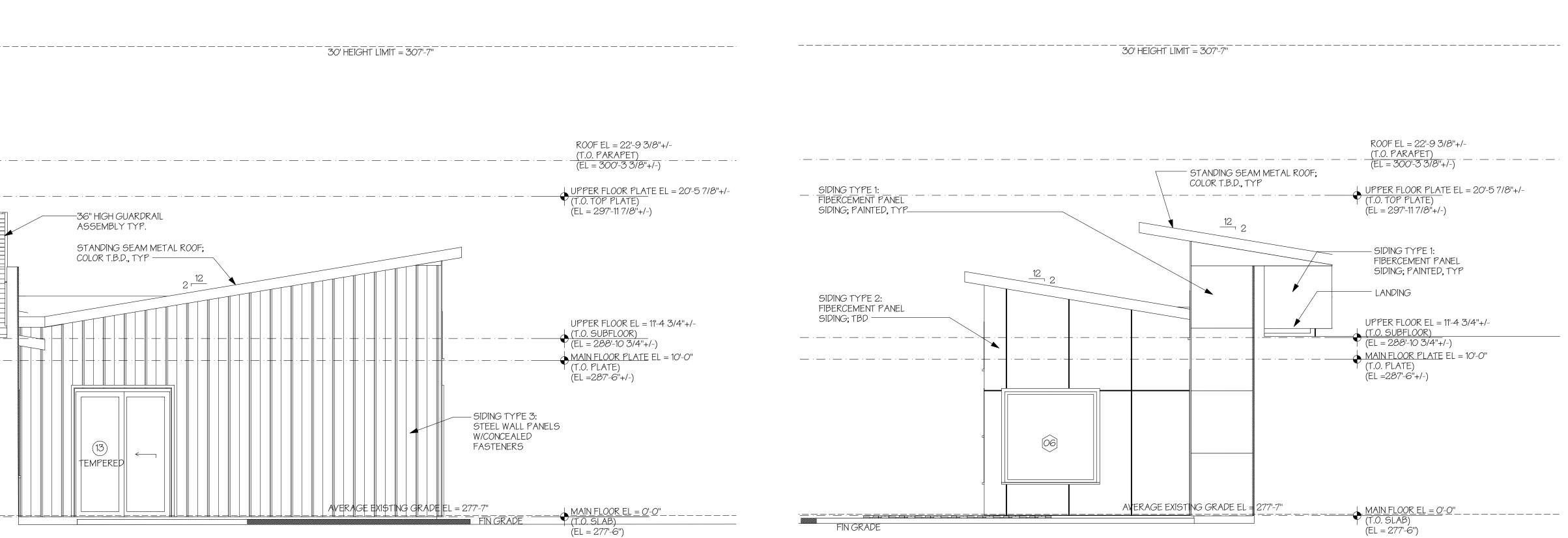
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DATE: 4/12/2022 REV1: 5/13/2022

PERMIT SET

**EXTERIOR ELEVATIONS** 



NORTH ELEVATION @ COURTYARD SCALE: 1/4" = 1'-0"

NORTH ELEVATION @ ENTRY

SCALE: 1/4" = 1'-0"

30' HEIGHT LIMIT = 307'-7" EXTERIOR RAILING PER DETAIL -ROOF EL = 22'-9 3/8"+/-(T.O. PARAPET) (EL = 300'-3 3/8"+/-) SIDING TYPE 2: UPPER FLOOR PLATE EL = 20'-5 7/8"+/-(T.O. TOP PLATE) (EL = 297'-11 7/8"+/-) VERTICAL RED CEDAR, TBD -STANDING SEAM METAL ROOF; COLOR T.B.D., TYP 25 SIDING TYPE 3: STEEL WALL PANELS W/CONCEALED FASTENERS-UPPER FLOOR EL = 11'-4 3/4"+/-(T.O. SUBFLOOR) (EL = 288'-10 3/4"+/-) MAIN FLOOR PLATE EL = 10'-0" SIDING TYPE 2: VERTICAL RED CEDAR, TBD -(T.O. PLATE) (EL =287'-6"+/-) SIDING TYPE 1: FIBERCEMENT PANEL SIDING; PAINTED, TYP-LAVERAGE EXISTING GRADE EL = 277'-7" MAIN FLOOR EL = 0'-0" (T.O. SLAB) (EL = 277'-6") FIN GRADE

- CRICKET PER STRUCTURAL -STANDING SEAM METAL ROOF; COLOR T.B.D., TYP UPPER FLOOR EL = 11'-4 3/4"+/-(T.O. SUBFLOOR) (EL = 288'-10 3/4"+/-) MAIN FLOOR PLATE EL = 10'-0" (T.O. PLATE) (EL =287'-6"+/-) – SIDING TYPE 2: FIBERCEMENT PANEL SIDING; TBD VERAGE EXISTING GRADE EL = 277'-7'' $\underbrace{\text{MAIN FLOOR EL} = 0'-0"}_{\text{(T.O. SLAB)}}$ FIN GRADE

30' HEIGHT LIMIT = 307'-7"

------

ROOF EL = 22'-9 3/8"+/-(T.O. PARAPET) (EL = 300'-3 3/8"+/-)

UPPER FLOOR PLATE EL = 20'-5 7/8"+/-(T.O. TOP PLATE) (EL = 297'-11 7/8"+/-)

SOUTH ELEVATION @ ENTRY

SOUTH ELEVATION @ COURTYARD

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



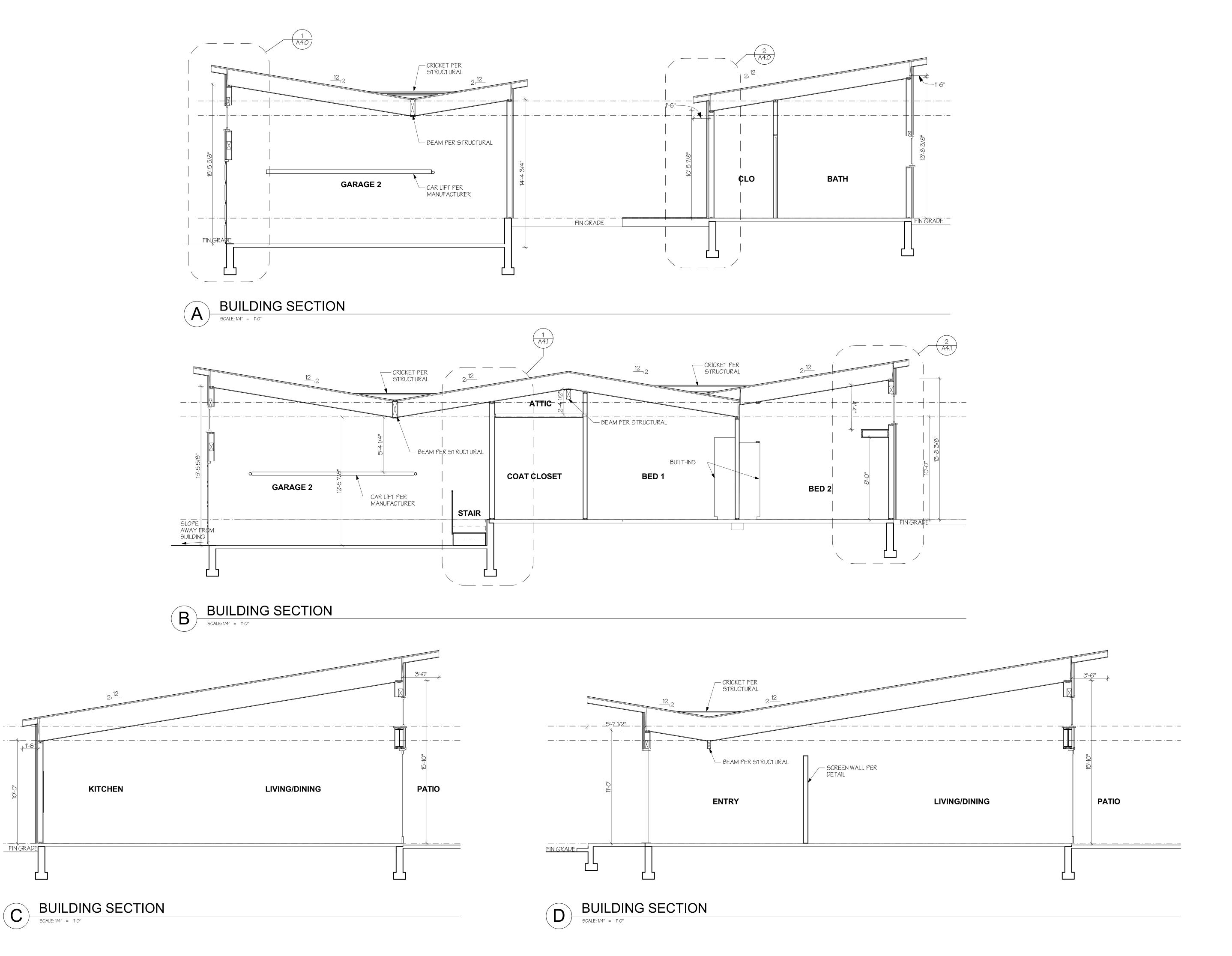
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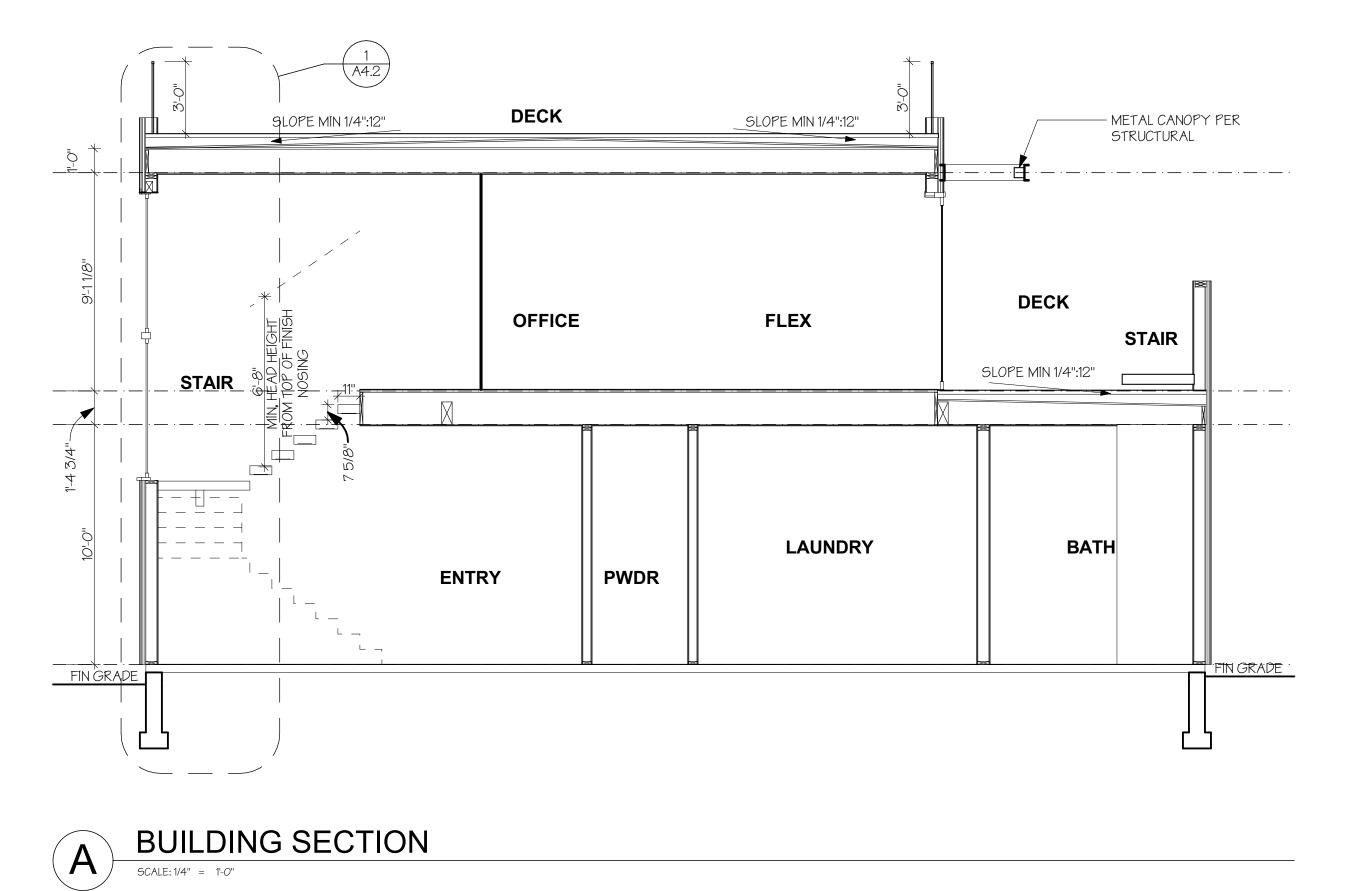
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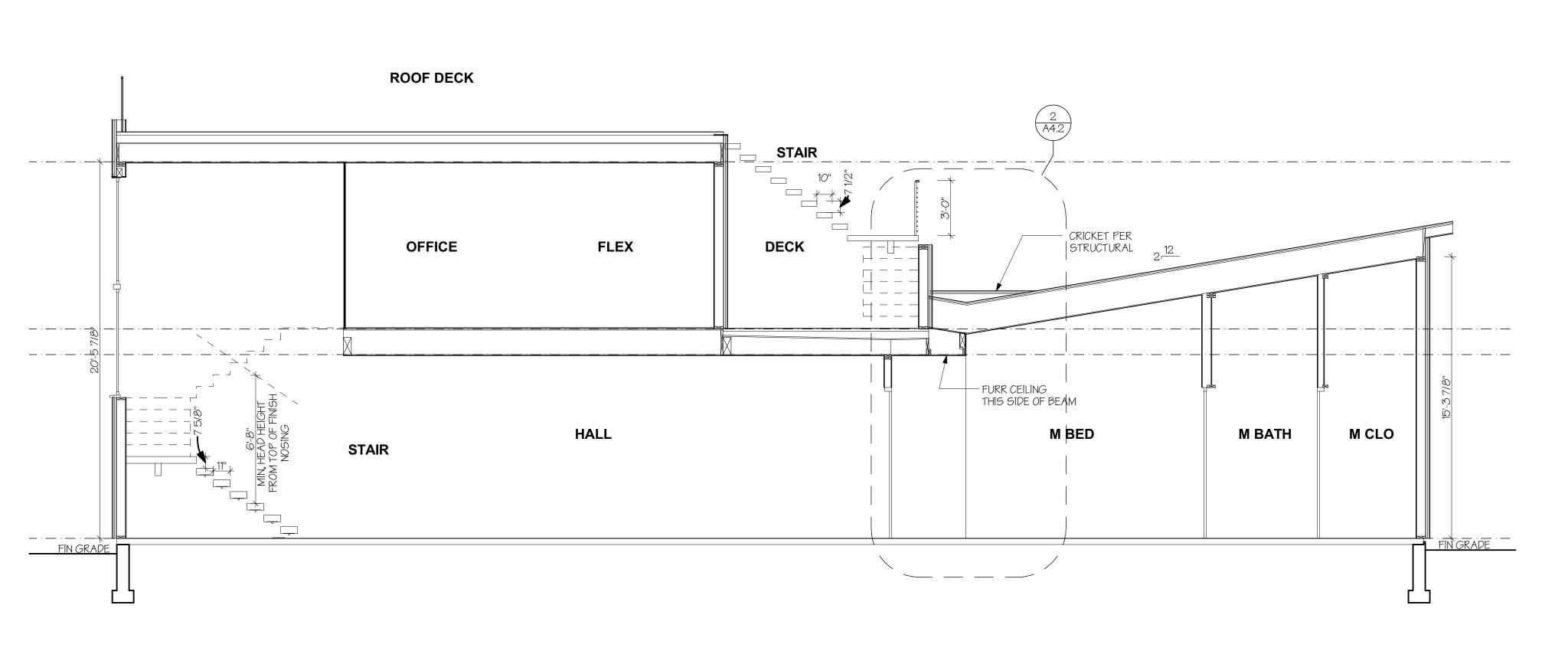
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**BUILDING SECTIONS** 

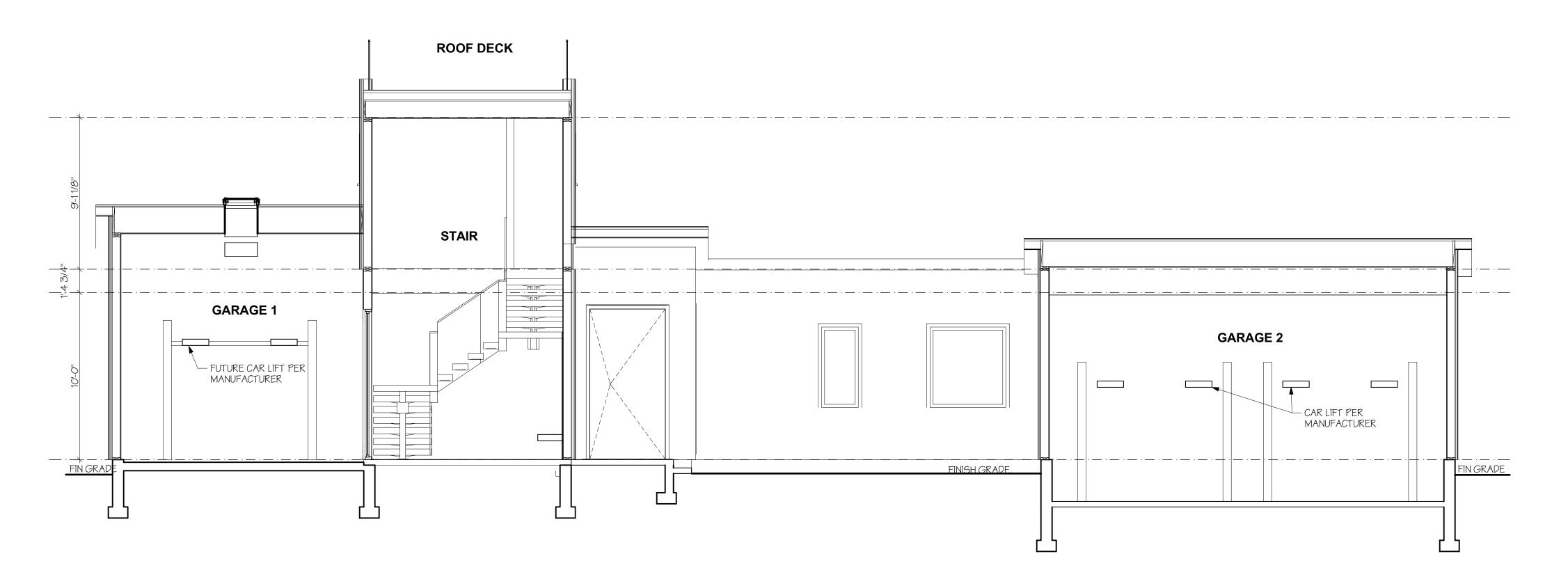






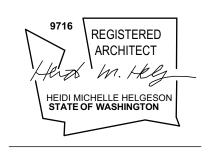
A BUILDING SECTION

SCALE: 1/4" = 1'-0"



BUILDING SECTION

SCALE: 1/4" = 1'-0"





ARCHITECTURE

+
DESIGN

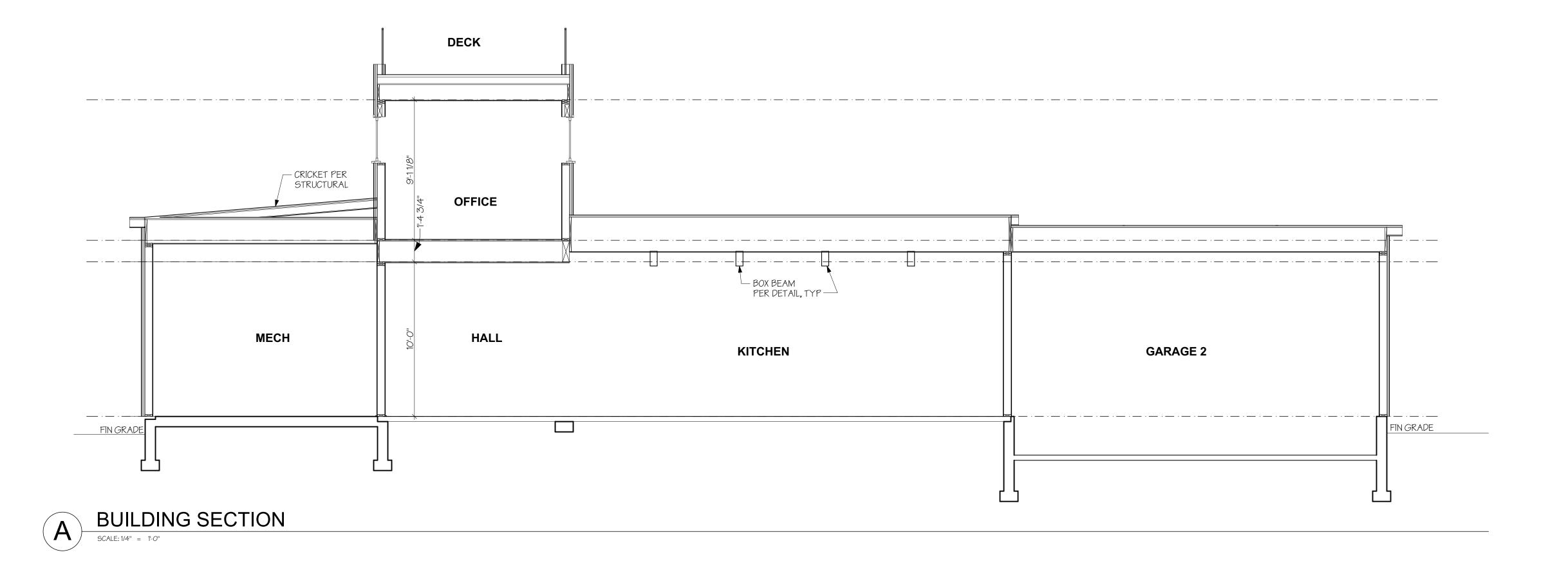
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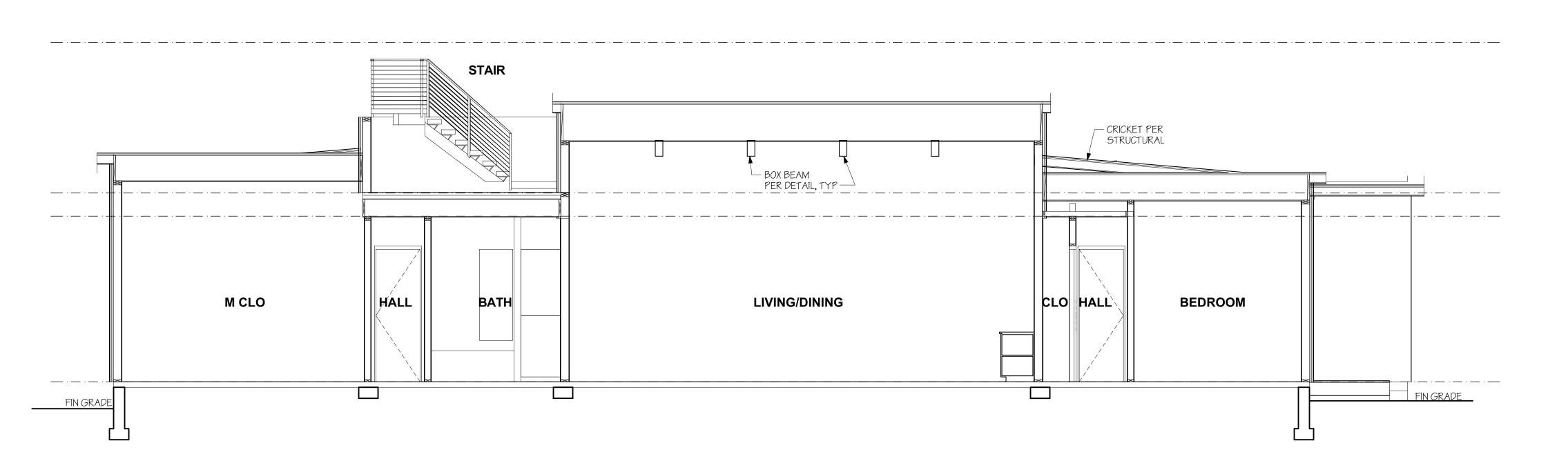
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BUILDING SECTIONS

**BUILDING SECTIONS** 







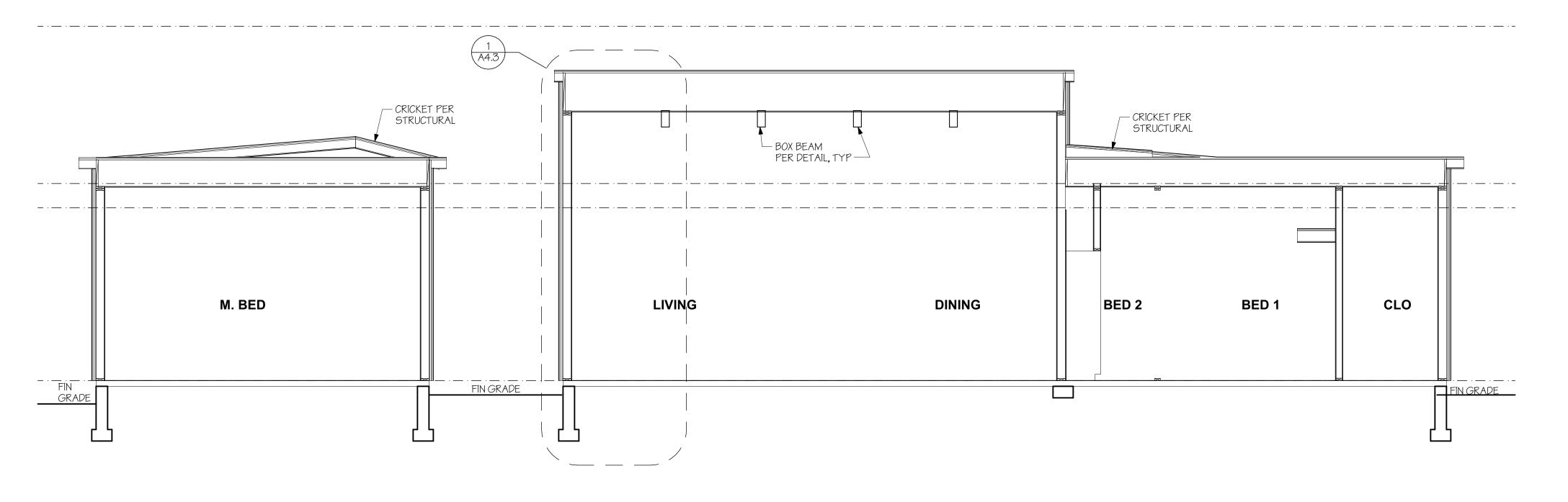


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**BUILDING SECTIONS** 





PATIO M. BED OUTDOOR BED 2 BATH 2 **KITCHEN** FIN GRADE FIN GRADE





H 2 D
ARCHITECTURE

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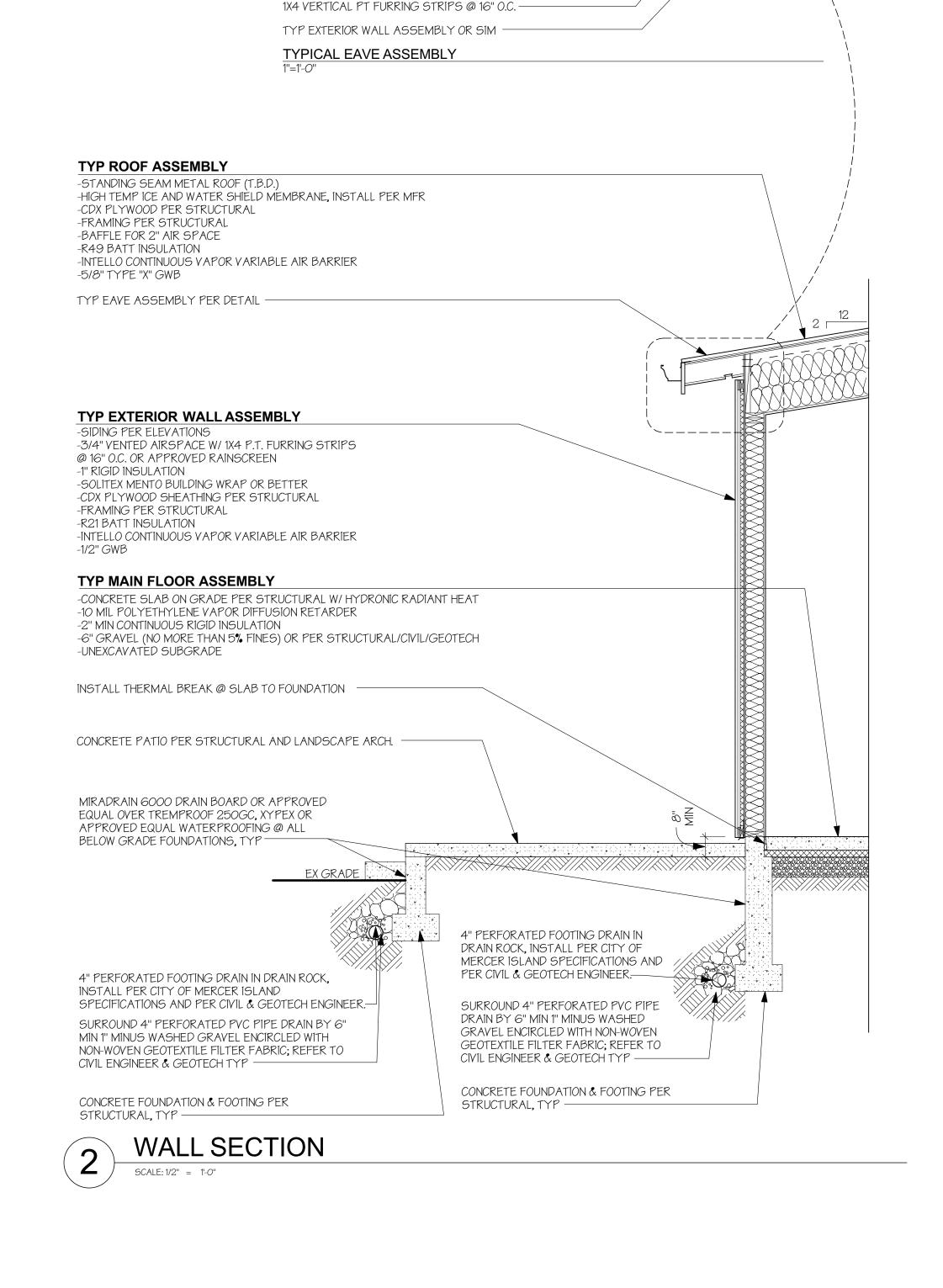
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WALL SECTIONS

WALL SECTION



TYP ROOF ASSEMBLY

METAL EDGE FLASHING

K STYLE METAL GUTTER -

5/4X10 WD FASCIA; PAINTED, TYP

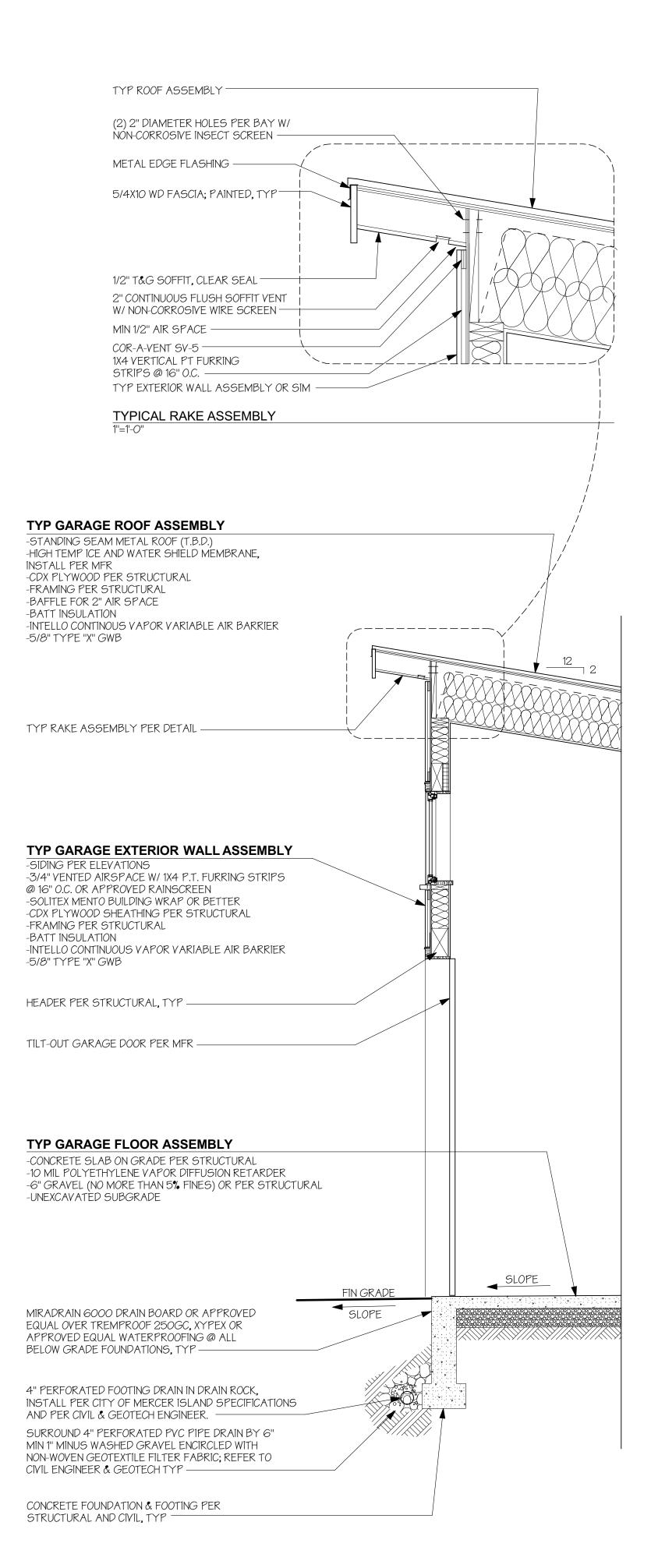
1/2" T&G SOFFIT, CLEAR SEAL -

MIN 1/2" AIR SPACE—
COR-A-VENT SV-5—

2" CONTINUOUS FLUSH SOFFIT VENT W/ NON-CORROSIVE WIRE SCREEN —

(2) 2" DIAMETER HOLES PER BAY W/ NON-CORROSIVE INSECT SCREEN

\_\_\_\_\_





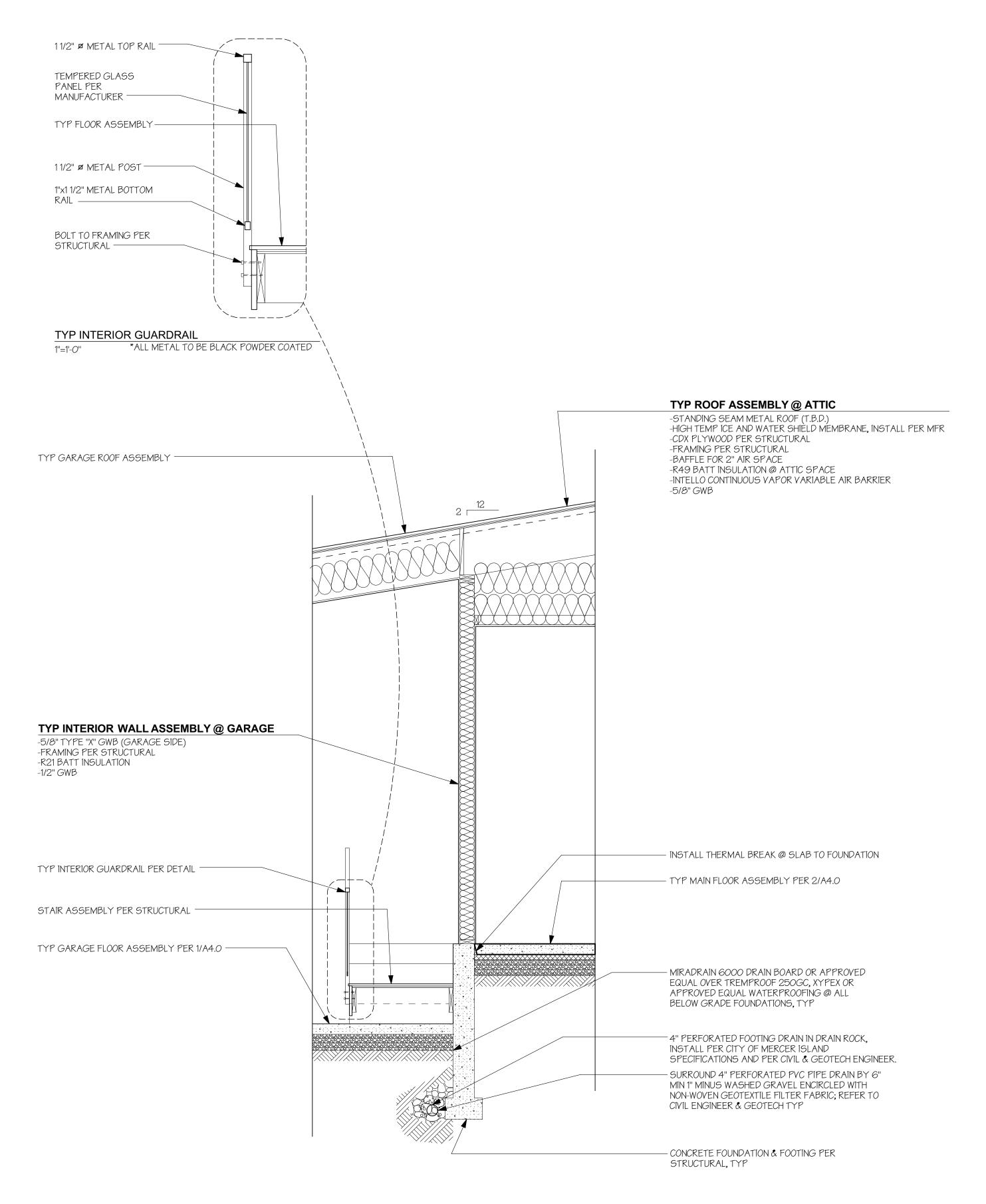
ARCHITECT U R E D E S I G N

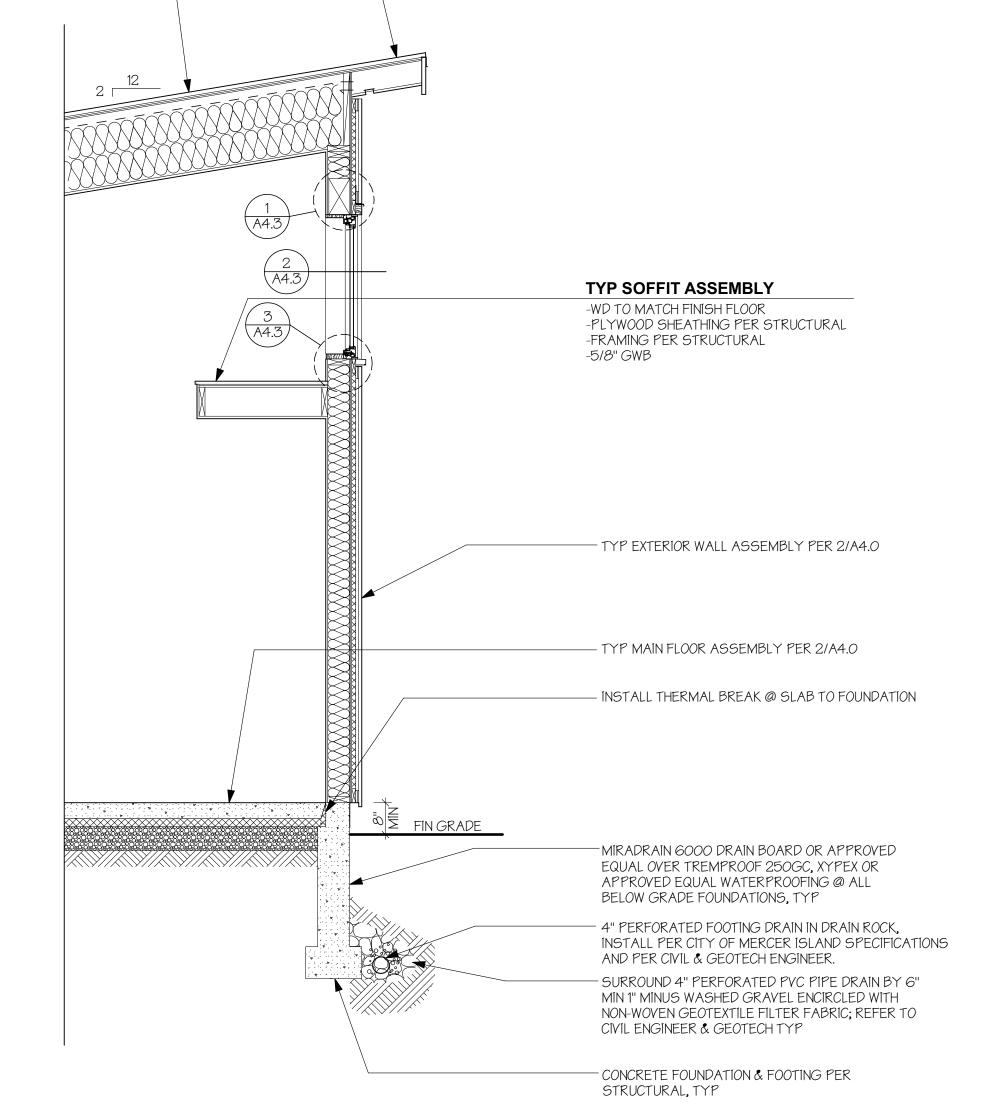
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WALL SECTIONS





- TYP ROOF ASSEMBLY PER 2/A4.0

TYP RAKE ASSEMBLY PER DETAIL



WALL SECTION



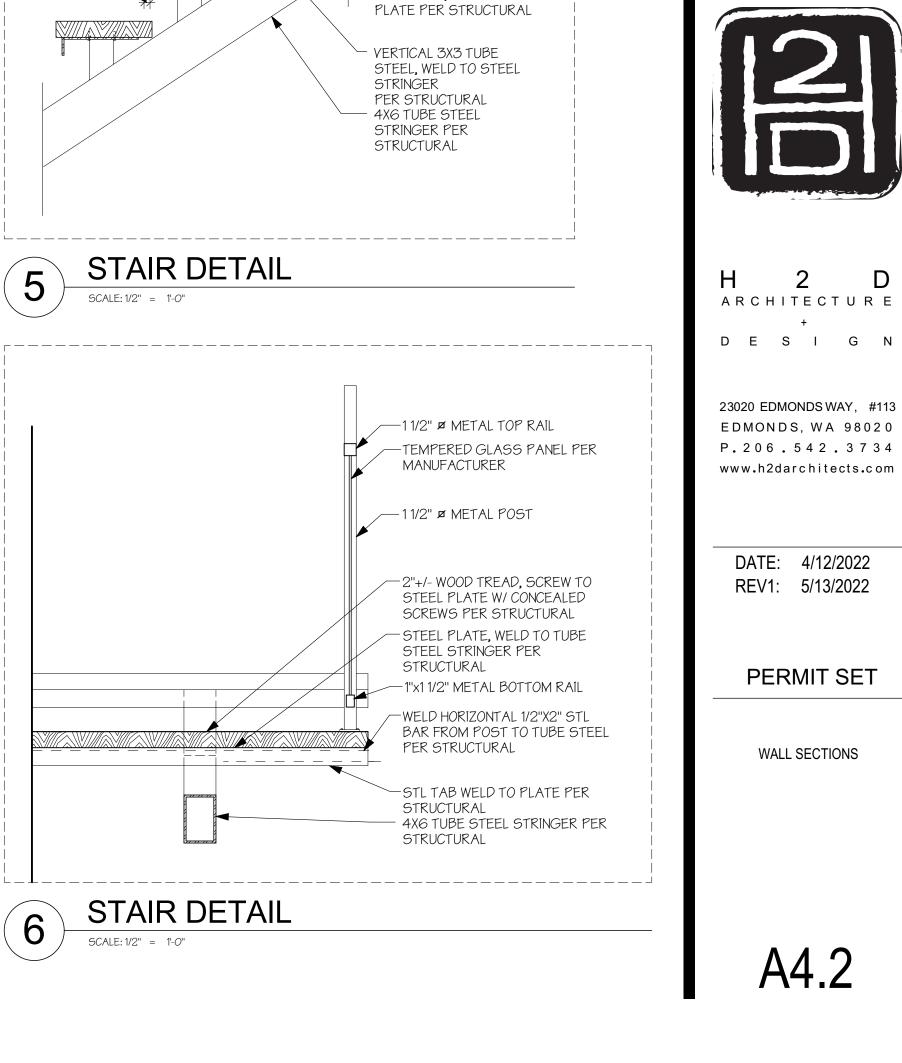


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WALL SECTIONS



STAIR DETAIL

STRUCTURAL

STRUCTURAL

\_\_\_\_\_\_\_

FLOORING; REFER TO

4X6 TUBE STEEL STRINGER PER

- STEEL PLATE, ANCHOR BOLT TO FLOOR, CONCEAL WITH FINISH

-3/4" NOSING @ FINISH

5/4X WD TRIM TO

STEEL PLATE

CONCEAL BOLTS AND

STEEL PLATE BOLT TO LEDGER

4X6 TUBE STEEL STRINGER PER

2"+/- WOOD TREAD, SCREW TO STEEL PLATE W/ CONCEALED

SCREWS PER STRUCTURAL

-STEEL PLATE FOR TREAD.

WELD TO VERTICAL 3X3

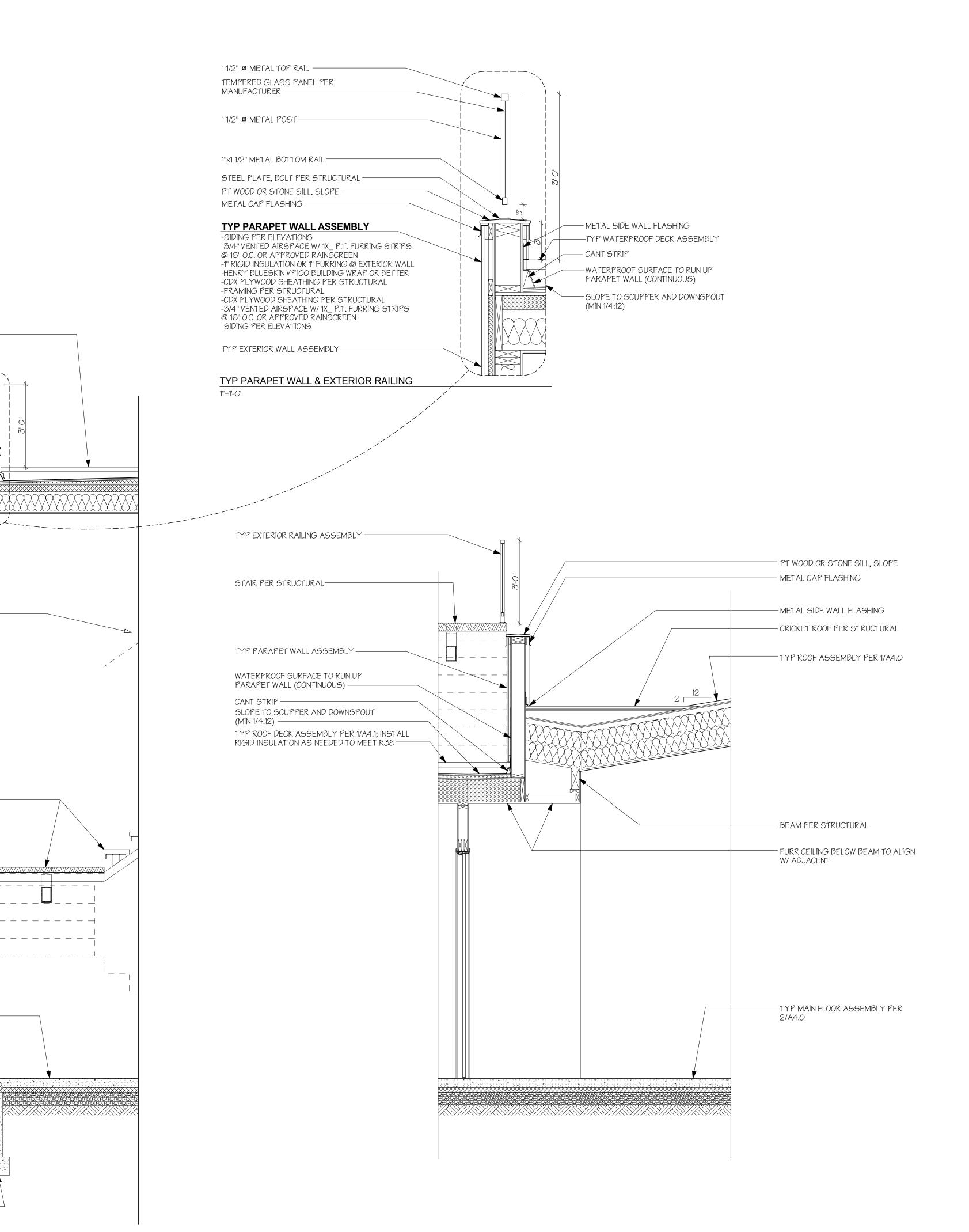
-STEEL TAB, WELD TO

TUBE STEEL

PER STRUCTURAL

STRUCTURAL

FLOOR





CIVIL ENGINEER & GEOTECH TYP-

STRUCTURAL, TYP -

CONCRETE FOUNDATION & FOOTING PER

TYP UNVENTED WATERPROOF DECK ASSEMBLY

FROM HOUSE AND SLOPE TO SCUPPER+DOWNSPOUT -MARINE GRADE PLYWOOD OR PER STRUCTURAL AND MFR

-MARINE GRADE PLYWOOD OR PER STRUCTURÁL AND MFR

-R-38 INSULATION @ WATERPROOF DECK OVER CONDITIONED

-SLEEPERS OR RIGID INSULATION (SLOPE 1/4:12)

TYP ROOF PARAPET & GUARDRAIL PER DETAIL-

TYP UPPER FLOOR ASSEMBLY (NOT SHOWN)

-JOIST TRAK OR SIM RADIANT HEATING SYSTEM (INSTALL

-FIBERGLASS WATERPROOFING SYSTEM; SLOPE MIN 1/4":12" AWAY

-CONCRETE PAVERS

-5/8" GWB

-1/2" T&G WD CEILING

-FINISH FLOOR PER PLAN

-5/8" GWB

-FRAMING PER STRUCTURAL

-PLYWOOD SHEATHING PER STRUCTURAL

@ UNDER-SIDE OF SHEATHING PER MFR)

-HAVELOCK WOOL OR SIM SOUND INSULATION

STAIR AND LANDING PER STRUCTURAL & DETAILS -

TYP EXTERIOR WALL ASSEMBLY PER 2/A4.0 -

TYP MAIN FLOOR ASSEMBLY PER 2/A4.0 —

MIRADRAIN 6000 DRAIN BOARD OR APPROVED

4" PERFORATED FOOTING DRAIN IN DRAIN ROCK,

SPECIFICATIONS AND PER CIVIL & GEOTECH ENGINEER.—

SURROUND 4" PERFORATED PVC PIPE DRAIN BY 6" MIN 1" MINUS WASHED GRAVEL ENCIRCLED WITH

NON-WOVEN GEOTEXTILE FILTER FABRIC; REFER TO

EQUAL OVER TREMPROOF 250GC, XYPEX OR

APPROVED EQUAL WATERPROOFING @ ALL

BELOW GRADE FOUNDATIONS, TYP-

INSTALL PER CITY OF MERCER ISLAND

INSTALL THERMAL BREAK @ SLAB TO FOUNDATION —

FIN GRADE

\_ \_ \_ \_ \_ \_ \_ \_ \_

-APPIAN PEDESTAL SYSTEM

-FRAMING PER STRUCTURAL

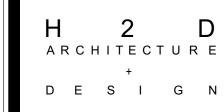
3" RIGID INSULATION (R-16), 8 1/4" (R25) -INTELLO VAPOR VARIABLE AIR BARRIER

WALL SECTION









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TYP. DETAILS

NOTE: CONTRACTOR TO FULLY WATERPROOF ALL AREAS OF

23 TYP BENCH DTL - SECTION

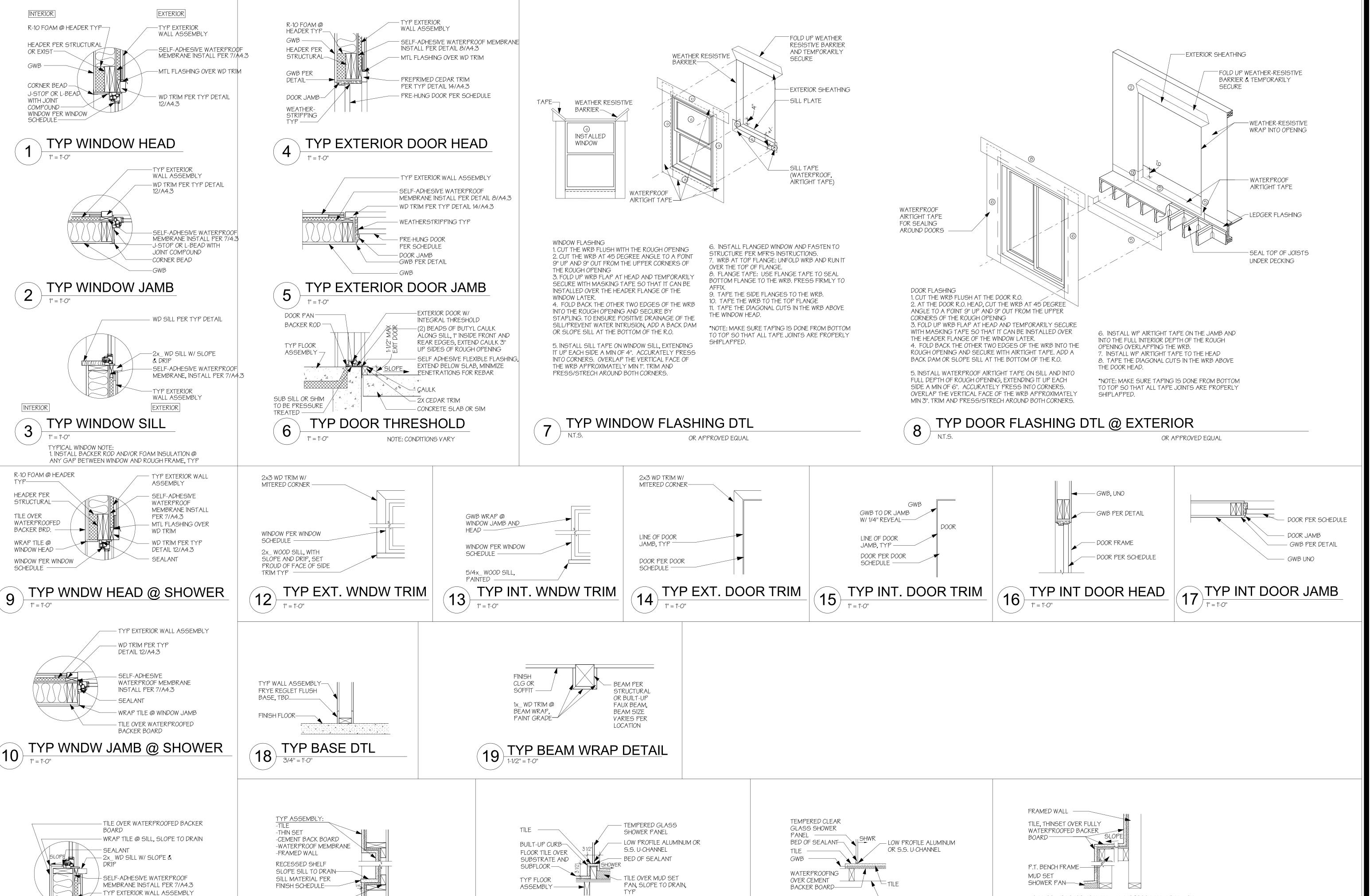
1-1/2" = 1'-0"

SHOWER INCLUDING BUT NOT LIMITED TO NICHE, WALLS,

SHOWER PAN, AND CURB

- FRAMED WALL

\*FULLY WATERPROOF SHOWER WALLS TYP



\*FULLY WATERPROOF SHOWER FLOOR AND CURB TYP

21 TYP U-CHANNEL DTL @ CURB

FRAMED WALL

11 TYP WNDW SILL @ SHOWER

20 TYP RECESSED SHELF DTL

# STRUCTURAL NOTES

(THESE NOTES ARE TYPICAL UNLESS NOTED OR DETAILED OTHERWISE ON DRAWINGS)

#### CODE

ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION. SPECIFICATIONS AND STANDARDS WHERE REFERENCED ON THE DRAWINGS ARE TO BE THE LATEST EDITION.

#### **DESIGN LOADS**

DEAD LOADS:  ROOF  ROOFTOP DECK FLOOR	15 PSF 33 PSF (INCLUDING 20 PSF PAVE 15 PSF
LIVE LOADS: ROOF (SNOW LOAD)	25 PSF

RESIDENTIAL 40 PSF DECK 60 PSF

#### EARTHQUAKE LOADS:

	·	
	EQUIVALENT LATERAL FORCE PROCEDURE PER ASCE 7-16 SECTION 2	12.8.
	SITE CLASS (ASSUMED)	D
	SHORT PERIOD SPECTRAL RESPONSE ACCEL (S <sub>s</sub> )	1.419
	ONE SECOND SPECTRAL RESPONSE ACCEL (S <sub>i</sub> )	0.493
	SHORT PERIOD DESIGN SPECTRAL RESPONSE ACCEL (S <sub>DS</sub> )	0.946
	ONE SECOND DESIGN SPECTRAL RESPONSE ACCEL (SDI)	0.595
	RISK CATEGORY	II
	SEISMIC IMPORTANCE FACTOR (I <sub>E</sub> )	1.0
	SEISMIC DESIGN CATEGORY	D
	BASIC SEISMIC FORCE-RESISTING-SYSTEM	PLYWOOD SHEAR WALLS
	RESPONSE MODIFICATION FACTOR, (R)	6.5
	REDUNDANCY FACTOR (p)	1.0
	SEISMIC RESPONSE COEFFICIENT (C <sub>S</sub> )	0.146
	W = TOTAL SEISMIC DEAD LOAD AS DEFINED PER ASCE 7-16 SECTIO	N 12.7.2.
	BASE SHEAR (V), $V = C_S W = \frac{S_{DS}}{R/I} W$	
10	D LOADS:	
	BASIC WIND SPEED (3 SECOND GUST)	98 MPH
	EXPOSURE	В

## SEE PLANS FOR ADDITIONAL DESIGN LOADS.

## STATEMENT OF SPECIAL INSPECTIONS

SPECIAL INSPECTIONS ARE REQUIRED AS INDICATED IN THE FOLLOWING TABLE. THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND OWNER PRIOR TO COMMENCEMENT OF WORK IN ACCORDANCE WITH SECTION 1704.4 OF THE IBC.

STEEL CONSTRUCTION - SPECIAL INSPECTION IS REQUIRED IN CONFORMANCE WITH IBC SECTION 1705.2.

FREQUENCY AND DISTRIBUTION OF REPORTS - INSPECTION REPORTS SHALL BE PROVIDED FOR EACH DAY ON SITE BY SPECIAL INSPECTOR. STRUCTURAL OBSERVATION REPORTS SHALL BE PROVIDED AFTER EACH OBSERVATION. REPORTS SHALL BE DISTRIBUTED TO THE CONTRACTOR, ARCHITECT, ENGINEER AND BUILDING OFFICIAL.

#### SPECIAL INSPECTION

OPERATION	CONT	PERIODIC	REMARKS
STRUCTURAL STEEL			
FABRICATION & ERECTION		Х	
SHOP & FIELD WELDING			
FILLET WELDS > 5/16"	Х		
OTHER WELDING		Х	
NOTE:			

ALL ITEMS MARKED WITH AN "X" SHALL BE INSPECTED IN ACCORDANCE WITH IBC CHAPTER 17. SPECIAL INSPECTION SHALL BE PERFORMED BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING OFFICIAL SHALL BE FURNISHED WITH COPIES OF ALL RESULTS. ANY INSPECTION FAILING TO MEET THE PROJECT SPECIFICATIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

## **SHOP DRAWINGS**

SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL

- **ENGINEER FOR REVIEW PRIOR TO FABRICATION:** 1. PREMANUFACTURED WOOD TRUSSES
- 2. STEEL STAIRS & THEIR ANCHORAGE
- 3. STEEL HANDRAILS & THEIR ANCHORAGE
- 4. STRUCTURAL STEEL

SHOP DRAWINGS SHALL BE REVIEWED, REVISED AS REQUIRED FOR FIELD CONDITIONS, AND DATE STAMPED BY THE CONTRACTOR PRIOR TO REVIEW BY THE ENGINEER. CONTRACTOR SHALL PROVIDE (3) SETS OF SHOP DRAWINGS FOR ENGINEER'S REVIEW. ALLOW TWO WEEKS FOR SHOP DRAWING APPROVAL BY ENGINEER.

ENGINEER'S SHOP DRAWING REVIEW IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AND CONTRACT DOCUMENTS. MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFORMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OF ASSEMBLY, AND FOR PERFORMING THE WORK IN A SAFE MANNER.

ENGINEER'S SHOP DRAWING REVIEW OF STRUCTURAL COMPONENTS DESIGNED BY OTHERS IS FOR LOADS IMPOSED ON THE BASIC STRUCTURE. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL CONNECTIONS TO THE BASIC STRUCTURE. SHOP DRAWINGS SHALL INDICATE MAGNITUDE AND DIRECTION OF THE LOADS IMPOSED ON THE BASIC STRUCTURE AND SHALL BE STAMPED & SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE SAME STATE AS THE PROJECT.

FABRICATION SHALL BEGIN ONLY AFTER SHOP DRAWINGS BEARING THE STAMP AND SIGNATURE OF THE PROJECT ARCHITECT, ENGINEER OF RECORD, AND CONTRACTOR HAVE BEEN RECEIVED.

## **DEFERRED APPROVAL ITEMS**

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND INDICATE THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTALS SHALL BE STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE SAME STATE AS THE PROJECT.

- 1. PREMANUFACTURED WOOD TRUSSES
- 2. STEEL STAIRS & THEIR ANCHORAGE 3. STEEL HANDRAILS & THEIR ANCHORAGE

#### FOUNDATIONS: SPREAD FOOTINGS

ALLOWABLE SOIL PRESSURE: 1500 PSF

FOOTINGS SHALL BEAR ON FIRM UNDISTURBED EARTH OR 12" OF COMPACTED STRUCTURAL FILL AS REQUIRED AND AT LEAST 36" BELOW ADJACENT EXTERIOR GRADE. ANY FOOTING ELEVATIONS SHOWN IN THE DRAWINGS REPRESENT MINIMUM DEPTHS AND ARE FOR BIDDING ONLY. ACTUAL FOOTING ELEVATIONS ARE SUBJECT TO SITE CONDITIONS AND MUST THEREFORE BE ESTABLISHED BY THE CONTRACTOR. FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE, UNLESS NOTED OTHERWISE.

IMPORTED STRUCTURAL FILL AND BACKFILL MATERIAL SHOULD CONSIST OF CLEAN, WELL GRADED GRANULAR MATERIAL FREE OF DEBRIS OR ORGANICS WITH A MAXIMUM PARTICLE DIAMETER OF THREE INCHES AND NO MORE THAN 10% FINES (PASSING THE #200 SIEVE).

FILL AND BACKFILL MATERIAL SHOULD BE PLACED IN LEVEL LIFTS NOT EXCEEDING TWELVE (12") INCHES IN LOOSE THICKNESS AND COMPACTED TO A MINIMUM OF 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM TEST METHOD D1557-00.

ALL CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED, AND PLACED IN ACCORDANCE WITH CHAPTER 26 OF ACI 318 AND THE AMERICAN CONCRETE INSTITUTE'S SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS

ALL CONCRETE SHALL BE STONE-AGGREGATE CONCRETE HAVING A UNIT WEIGHT OF APPROXIMATELY 150 POUNDS

CONCRETE STRENGTHS AT 28 DAYS (f'c) AND MIX CRITERIA SHALL BE AS FOLLOWS:

TYPE OF CONSTRUCTION	f'c*	MAXIMUM WATER/CEMENT RATIO	MIN CEMENT CONTENT PER CUBIC YARD	MAXIMUM SHRINKAGE STRAIN
SLABS ON GRADE	3000 PSI	0.52	5 1/2 SACK	N/A
FOOTINGS	3000 PSI	0.52	5 1/2 SACK	N/A
WALLS	3000 PSI	0.52	5 1/2 SACK	N/A

THE MINIMUM AMOUNT OF CEMENT LISTED ABOVE MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER, AND ADMIXTURES AS WELL AS THE WATER-CEMENT RATIO, SLUMP, CONCRETE YIELD, AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH CHAPTER 26 OF ACI 318.

ALL CONCRETE EXPOSED TO WEATHER OR TO FREEZING TEMPERATURES SHALL BE AIR-ENTRAINED IN ACCORDANCE

\*PROVIDE f'c SPECIFIED IN TABLE FOR DURABILITY REQUIREMENTS. 2500 PSI CONCRETE MEETS STRENGTH REQUIREMENTS, THEREFORE SPECIAL INSPECTION IS NOT REQUIRED.

REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615, AND SHALL BE GRADE 60 (Fy = 60.000 PSI). UNLESS NOTED OTHERWISE, GRADE 60 REINFORCING BARS INDICATED ON DRAWINGS TO BE WELDED SHALL CONFORM TO ASTM A706. REINFORCING COMPLYING WITH ASTM A615 MAY BE WELDED IF MATERIAL PROPERTY REPORTS INDICATING CONFORMANCE WITH WELDING PROCEDURES SPECIFIED IN AWS D1.4 ARE

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. PROVIDE WELDED WIRE FABRIC IN SHEETS NOT ROLLS. LAP WELDED WIRE FABRIC 12" AT SIDES AND ENDS.

REINFORCING STEEL SHALL BE DETAILED INCLUDING HOOKS AND BENDS IN ACCORDANCE WITH SP-66 AND ACI 318R, LATEST EDITIONS. UNLESS OTHERWISE NOTED, REINFORCING SPLICE LENGTHS AND DEVELOPMENT LENGTHS SHALL BE PER SCHEDULE.

REINFORCING SHALL BE PLACED AND ADEQUATELY SUPPORTED PRIOR TO PLACING CONCRETE. WET-SETTING EMBEDDED ITEMS IS NOT ALLOWED WITHOUT PRIOR ENGINEER APPROVAL, BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL NOT BE FIELD BENT UNLESS SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. REFER TO CHAPTER 7 OF ACI 318 FOR OTHER REINFORCING STEEL REQUIREMENTS.

UNLESS OTHERWISE NOTED, REINFORCING SPLICE LENGTHS AND DEVELOPMENT LENGTHS SHALL BE AS TABULATED

	f'c = 3000 PSI										
		DEVELOPN	IENT LENGTH		LAP	SPLICE					
BAR	TENS	SION	COMPRESSION	TENS	SION	COMPRESSION					
SIZE	TOP BARS	OTHER BARS	ALL BARS	TOP BARS	OTHER BARS	ALL BARS					
#3	22	17	9	28	22	12					
#4	29	22	11	37	29	15					
#5	36	28	14	47	36	19					
#6	43	33	17	56	43	23					
#7	63	48	20	81	63	27					
#8	72	55	22	93	72	30					

1. ALL LENGTHS ARE IN INCHES.

ALL LAP SPLICES ARE CLASS B.

. "TOP BARS" ARE HORIZONTAL REINFORCEMENT PLACED SUCH THAT MORE THAN 12 INCHES OF

1 1/2"

CONCRETE IS CAST IN THE MEMBER BELOW THE BAR.

COLUMN TIES OR SPIRALS AND BEAM STIRRUPS

## **CONCRETE COVER ON REINFORCING**

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"
CONCRETE EXPOSED TO EARTH AND WEATHER: #5 BARS AND SMALLER	1 1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER: SLABS, WALLS AND JOISTS	3/4"

#### CONCRETE GENERAL NOTES

BEYOND JOINT.

VERTICAL BARS SHALL START FROM TOP OF FOOTING. HORIZONTAL BARS SHALL START A DISTANCE OF 1/2 THE NORMAL BAR SPACING FROM TOP OF FOOTING AND TOP OF FRAMED SLABS. IN ADDITION, THERE SHALL BE A

HORIZONTAL BAR AT A MAXIMUM OF 3" FROM TOP OF WALL AND BOTTOM OF FRAMED SLABS. ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED AND PROPERLY PREPARED IMMEDIATELY PRIOR TO

POURING OF CONCRETE. DOWEL STEEL SHALL BE THE SAME SIZE AND SPACING AS MAIN REINFORCING DETAILED

PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF NOT MORE THAN 400 SQUARE FEET EACH. AREAS TO BE AS SQUARE AS PRACTICAL AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF OPENINGS IN CONCRETE WALLS, FLOORS AND ROOF. UNLESS INDICATED OTHERWISE, REINFORCE AROUND OPENINGS GREATER THAN 12" IN EITHER DIRECTION WITH (2) #5 EACH SIDE AND (1) #5 x 4'-0" DIAGONAL AT EACH CORNER. EXTEND BARS 2'-0" BEYOND EDGE OF OPENING. IF 2'-0" IS UNAVAILABLE, EXTEND AS FAR AS POSSIBLE AND HOOK. HOOK ALL REINFORCING INTERRUPTED BY OPENINGS.

BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL NOT BE FIELD BENT UNLESS SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER

SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES. PROVIDE 3/4" CHAMFER AT ALL CORNERS EXCEPT AS

#### **STRUCTURAL STEEL**

STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST

WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, Fy = 50 KSI.

PLATES, ANGLES, CHANNELS, AND RODS SHALL CONFORM TO ASTM A36, Fy = 36 KSI.

STRUCTURAL TUBING SHALL CONFORM TO ASTM A500 GRADE B, Fy = 46 KSI.

STEEL PIPE SHALL CONFORM TO ASTM A53 GRADE B, Fy = 35 KSI.

BOLTS CONNECTING STEEL MEMBERS SHALL CONFORM TO ASTM A325-N. BOLTS SHALL BE 3/4"Ø MINIMUM, UNO ANCHOR BOLTS SHALL CONFORM TO ASTM A307.

CONTRACTOR SHALL PROVIDE CONNECTION ADJUSTMENT TOLERANCES TO SATISFY THE REQUIREMENTS OF AISC MANUAL OF STEEL CONSTRUCTION.

UNLESS SPECIFIED AS STAINLESS STEEL, ALL STEEL MEMBERS, SHAPES, BOLTS, AND ACCESSORIES EXPOSED TO WEATHER SHALL BE HOT DIP GALVANIZED.

WELDING SHALL CONFORM TO AWS "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING SHALL BE DONE WITH 70 KSI LOW HYDROGEN ELECTRODES. WHERE NOT CALLED OUT, MINIMUM FILLET WELD SIZE SHALL BE PER TABLE 5.8 IN AWS D1.1, LATEST EDITION.

WELDING OF REINFORCING BARS SHALL NOT BE PERMITTED UNLESS SPECIFICALLY CALLED OUT ON DRAWINGS OR APPROVED BY STRUCTURAL ENGINEER. WELDING OF GRADE 60 REINFORCING BARS SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING OF GRADE 40 REINFORCING BARS SHALL BE PERFORMED USING E70XX ELECTRODES. SEE REINFORCING NOTES FOR MATERIAL REQUIREMENTS OF WELDED BARS. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING BARS IS NOT PERMITTED.

ALL WELDING SHALL BE DONE BY WASHINGTON ASSOCIATION OF BUILDING OFFICIALS (WABO) CERTIFIED WELDERS.

ALL GRADES SPECIFIED ARE MINIMUM GRADES REQUIRED. ALL LUMBER SHALL BE IN ACCORDANCE WITH WWPA GRADING RULES, KILN-DRIED TO MC 19 AND OF THE FOLLOWING MINIMUM STANDARDS

SIZE CLASSIFICATION	SPECIES	GRADE	Fb (PSI)	Fc (PSI)
LIGHT FRAMING (STUDS)	HEM-FIR	STUD	675	800
2x JOISTS AND PLANKS	HEM-FIR	#2	850	-
PLATES AND BLOCKING	HEM-FIR	#2	850	-
6x AND LARGER BEAMS AND STRINGERS	DOUG-FIR	#2	875	-
4x AND SMALLER BEAMS AND STRINGERS	HEM-FIR	#2	850	-
ALL POSTS AND TIMBERS	DOUG-FIR	#1	1200	1000

REFER TO PLAN NOTES, SCHEDULES, AND DETAILS FOR MORE SPECIFIC LUMBER SIZE AND GRADE REQUIREMENTS.

UNLESS NOTED OTHERWISE IN THE PLANS, ALL WOOD AND WOOD-BASED MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE, MASONRY, OR WITHIN 8" OF SOIL SHALL BE PRESERVATIVE-TREATED BY VACUUM-PRESSURE IMPREGNATION IN ACCORDANCE WITH AWPA STANDARD U1.

## NAILS, BOLTS, AND METAL CONNECTORS FOR WOOD

ALL NAILS SHALL CONFORM TO THE STANDARDS SET FORTH BY THE NATIONAL DESIGN STANDARDS (NDS) FOR WOOD CONSTRUCTION, LATEST EDITION. NAILING NOT SPECIFIED SHALL BE PER IBC TABLE 2304.9.1 NAILING SCHEDULE. ALL NAILS CALLED OUT ON PLANS SHALL BE COMMON NAILS UNLESS NOTED OTHERWISE AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM GUIDELINES:

EET ON EXCEED THE TOLEOWING WIN	TO THE POLES WING WINNING WINNING GOIDELINES.								
NAIL	SHANK Ø	MIN LENGTH							
8d COMMON	0.131Ø	2 1/2" SHANK							
10d COMMON	0.148Ø	3" SHANK							
12d COMMON	0.148Ø	3 1/4" SHANK							
16d COMMON	0.162Ø	3 1/2" SHANK							

10d BOX NAILS MAY BE SUBSTITUTED FOR 8d COMMON NAILS WITH NO CHANGE IN NAIL SPACING. FRAMING MEMBERS MAY BE NAILED WITH 16d SINKERS (0.148" Ø x 3 1/4"), BUT ONLY 16d COMMON NAILS SHALL BE USED WHERE 16d NAILS ARE INDICATED IN THIS DRAWING SET. ENGINEER MAY APPROVE OTHER NAILS IF NAIL LABELS ARE SUBMITTED TO ENGINEER PRIOR TO START OF CONSTRUCTION.

ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. LEAD HOLES FOR LAG BOLTS SHALL BE BORED FOR THE SHANK AND THREADED PORTIONS PER NDS 11.1.3.

CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, CATALOG TO BE THE LATEST EDITION, OR ENGINEER APPROVED EQUAL. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND WITH THE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY THE MANUFACTURER. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS, SCREWS, OR BOLTS IN EACH MEMBER.

INSTALL SOLID BLOCKING AT ALL BEARING POINTS. ALL SHIMS SHALL BE SEASONED, DRIED, AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

#### **GALVANIZATION**

UNLESS NOTED OTHERWISE, STEEL CONNECTORS IN CONTACT WITH TREATED WOOD SHALL BE GALVANIZED ACCORDING TO THE FOLLOWING TABLE:

GALVANIZATION	UNTREATED WOOD	CCA-C	SBX	ACQ-C ACQ-D	CBA-A CA-B	OTHER BORATE	ACZA	OTHER PT WOOD
G90	Х	Х	Х					
G185	х	Х	Х	Х	Х	Х		
HDG	Х	Х	Х	Х	Х	Х		
STT300	Х	Х	Х	Х	Х	Х	Х	Х

G90 = 0.90 OZ. OF ZINC PER SQUARE FOOT OF AREA G185 = 1.85 OZ. OF ZINC PER SQUARE FOOT OF AREA

HDG = HOT DIP GALVANIZED SST300 = TYPE 316L STAINLESS STEEL

#### **RATED SHEATHING**

RATED SHEATHING SHALL BE GRADE C-D INT-APA WITH EXTERIOR GLUE OR OSB SHEATHING WITH EXTERIOR GLUE IN CONFORMANCE WITH IBC STANDARD 2303.1.4.

#### TIMBERSTRAND, MICROLLAM, AND PARALLAM MEMBERS

FABRICATED IN CONFORMANCE WITH THE INTERNATIONAL CODE COUNCIL EVALUATION SERVICE (ICC-ES) REPORT NO. ESR-1387 OR CCMC REPORT NO. 12627-R, 08675-R, AND 11161-R. EACH MEMBER SHALL BE IDENTIFIED BY A STAMP INDICATING THE PRODUCT TYPE AND GRADE, ICC-ES OR CCMC REPORT NUMBER, MANUFACTURER'S NAME, PLANT NUMBER AND INDEPENDENT INSPECTION AGENCY'S LOGO. FABRICATOR SHALL BE CERTIFIED. MEMBERS SHALL MEET THE FOLLOWING MINIMUM STANDARDS:

SIZE CLASSIFICATION	SPECIES	GRADE	Fb (PSI)	Fv (PSI	Fc (PSI)
RIMS & BEAMS (d ≥ 9 1/2")	LSL	1.55E	2,325	310	-
BEAMS & POSTS	LVL	2.0E	2,600	285	2,510
POSTS (d < 9 1/2")	PSL	1.8E	2,400	190	2,500
BEAMS (d ≥ 9 1/2")	PSL	2.0E	2,900	290	-

TIMBERSTRAND, MICROLLAM, AND UNTREATED PARALLAM MEMBERS ARE INTENDED FOR DRY-USE APPLICATIONS. UNLESS NOTED OTHERWISE, ENGINEERED WOOD BEAMS EXPOSED TO WEATHER SHALL BE TREATED PER MANUFACTURES RECOMMENDATIONS.

#### PRE-MANUFACTURED WOOD TRUSSES

WOOD TRUSSES SHALL BE SIZED AND DETAILED TO FIT DIMENSIONS AND LOADS INDICATED ON THE PLANS. ALL DESIGN SHALL BE IN ACCORDANCE WITH THE ALLOWABLE VALUES AND SECTION PROPERTIES ASSIGNED BY THE BUILDING CODE. SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW PRIOR TO FABRICATION. CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE SAME STATE AS THE PROJECT. TRUSS DESIGN AND SHOP DRAWINGS SHALL BE IN CONFORMANCE WITH IBC 2303.4

PROVIDE TEMPORARY BRACING UNTIL SHEATHING AND PERMANENT BRACING IS INSTALLED. MANUFACTURER SHALL PROVIDE ALL SPECIALTY ITEMS REQUIRED FOR A COMPLETE INSTALLATION OF JOISTS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

FOR TOP CHORD DESIGN LIVE LOADS, REFER TO THE DESIGN LOAD SECTION. IN ADDITION TO ROOF LOADING LISTED IN THE DESIGN LOAD SECTION, ROOF TRUSSES SHALL BE DESIGNED FOR A BOTTOM CHORD LIVE LOAD OF 10 PSF. TOP AND BOTTOM CHORD LIVE LOAD DO NOT NEED TO BE DESIGNED FOR SIMULTANEOUSLY.

IN ADDITION TO THEIR SELF WEIGHT. ROOF TRUSSES SHALL BE DESIGNED FOR A TOP CHORD DEAD LOAD OF 5 PSF AND A BOTTOM CHORD DEAD LOAD OF 10 PSF ACTING SIMULTANEOUSLY. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOADS AND OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS. DEFLECTIONS SHALL NOT EXCEED L/360 FOR LIVE LOADS, OR L/240 FOR TOTAL LOADS.

## **TYPICAL FRAMING NOTES**

1. BEARING WALL FRAMING

2x STUDS @ 16" OC FOR ALL SHEAR AND/OR BEARING WALLS UNO.

REFER TO FRAMING PLAN NOTES FOR TYPICAL DOOR & WINDOW HEADERS NOT CALLED OUT ON THE PLANS. HEADERS SHALL BE SUPPORTED BY A MINIMUM OF (1) CRIPPLE AND (1) FULL HEIGHT STUD UNO.

COLUMNS BELOW FLUSH MULTIPLE JOIST BEAMS SHALL BE EQUAL IN WIDTH TO THE BEAM. ALL COLUMNS NOT CALLED OUT OTHERWISE SHALL BE TWO STUDS.

2. WALL BASE PLATE ON CONCRETE

WALL PLATES BEARING ON CONCRETE SHALL BE PRESSURE-TREATED. FOR ALL EXTERIOR AND INTERIOR WALLS. BOLT PLATES OR SILLS TO CONCRETE WITH 5/8 INCH DIAMETER ANCHOR BOLTS WITH 7 INCH MINIMUM EMBEDMENT. PLACE AT 5'-0" OC MAXIMUM FOR SHEAR WALLS, AND AT 6'-0" OC FOR BEARING WALLS AND OTHER PARTITIONS. USE MINIMUM OF TWO ANCHOR BOLTS PER SILL AND PLACE ONE WITHIN 12 INCHES OF EITHER END TYPICAL UNLESS NOTED OR DETAILED OTHERWISE. REFER TO SHEAR WALL SCHEDULE. AT ALL SILL PLATE ANCHOR BOLTS, CONTRACTOR SHALL INSTALL 1/4" x 3" x 3" FLAT PLATE WASHERS.

## 3. ROOF AND FLOOR FRAMING

PROVIDE 1 1/2" BLOCKING FOR JOISTS AND RAFTERS AT ALL SUPPORTS AND AT 8'-0" OC MAXIMUM UNO. INTERMEDIATE 8'-0" OC BLOCKING NOT REQ'D IF GWB CEILING IS INSTALLED DIRECTLY TO UNDERSIDE OF FRAMING.

## 4. DIAPHRAGM NAILING

ALL SHEAR WALLS, FLOOR AND ROOF DIAPHRAGM NAILINGS SHALL BE AS CALLED OUT ON SCHEDULES OR ON THE PLANS. EXTERIOR WALLS NOT INDICATED AS SHEAR WALLS SHALL BE SHEATHED AND NAILED TO SUPPORTING FRAMING WITH 8d NAILS AT 6" OC AT ALL PANEL EDGES AND 12" OC AT ALL INTERMEDIATE SUPPORTS.

THE USE OF NAIL GUNS WILL BE APPROVED IF NAILING INTO THE DIAPHRAGMS CAN BE INSTALLED FLUSH WITH FACE OF SHEATHING. NAIL PENETRATIONS GREATER THAN 1/16" ARE NOT ACCEPTABLE.

## 5. ALLOWABLE STUD AND PLATE PENETRATIONS

ONLY WILL NOT SATISFY THIS REQUIREMENT.

CUTTING AND/OR NOTCHING OF WOOD STUDS OR PLATES SHALL NOT EXCEED 25% OF THE STUD/PLATE WIDTH IN EXTERIOR AND BEARING WALLS AND SHALL NOT EXCEED 40% OF THE STUD/PLATE WIDTH IN ANY NON-BEARING PARTITIONS. BORED HOLE DIAMETER IS LIMITED TO 40% OF STUD/PLATE WIDTH IN ANY STUD AND MAY BE 60% IN NONBEARING PARTITIONS OR IF STUD IS DOUBLED. MAINTAIN 5/8" MINIMUM EDGE DISTANCE FROM HOLE EDGE.

#### 6. GYPSUM WALLBOARD NAILING ALL GYPSUM WALLBOARD SHALL BE NAILED TO ALL STUDS AND TOP AND BOTTOM PLATES WITH 6d COOLER NAILS

OR NO. 13 GAUGE x 1 5/8" @ 7" OC (5d COOLER NAILS FOR 1/2 INCH GYPSUM SHEATHING). TYPICAL UNLESS NOTED OTHERWISE. INSTALLATION OF GWB SHALL BE SUCH THAT JOINTS ARE STAGGERED ON EACH SIDE OF A SINGLE WALL.

#### STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS FOR COMPATIBILITY BEFORE PROCEEDING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.

CONTRACTOR TO SEE ARCHITECTURAL DRAWINGS FOR SIZE AND LOCATION OF PIPE, VENT, DUCT AND OTHER OPENINGS AND DETAILS NOT SHOWN ON THESE DRAWINGS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTION STABILITY AND TEMPORARY SHORING AS NECESSARY UNTIL PERMANENT SUPPORT AND STIFFENING ARE INSTALLED. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL

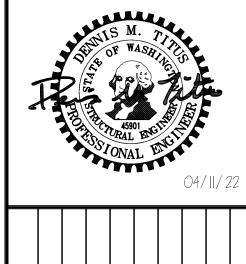
ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS

DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF A SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.

**EDMONDS, WASHINGTON 98020** 

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FAX (425) 778-5536



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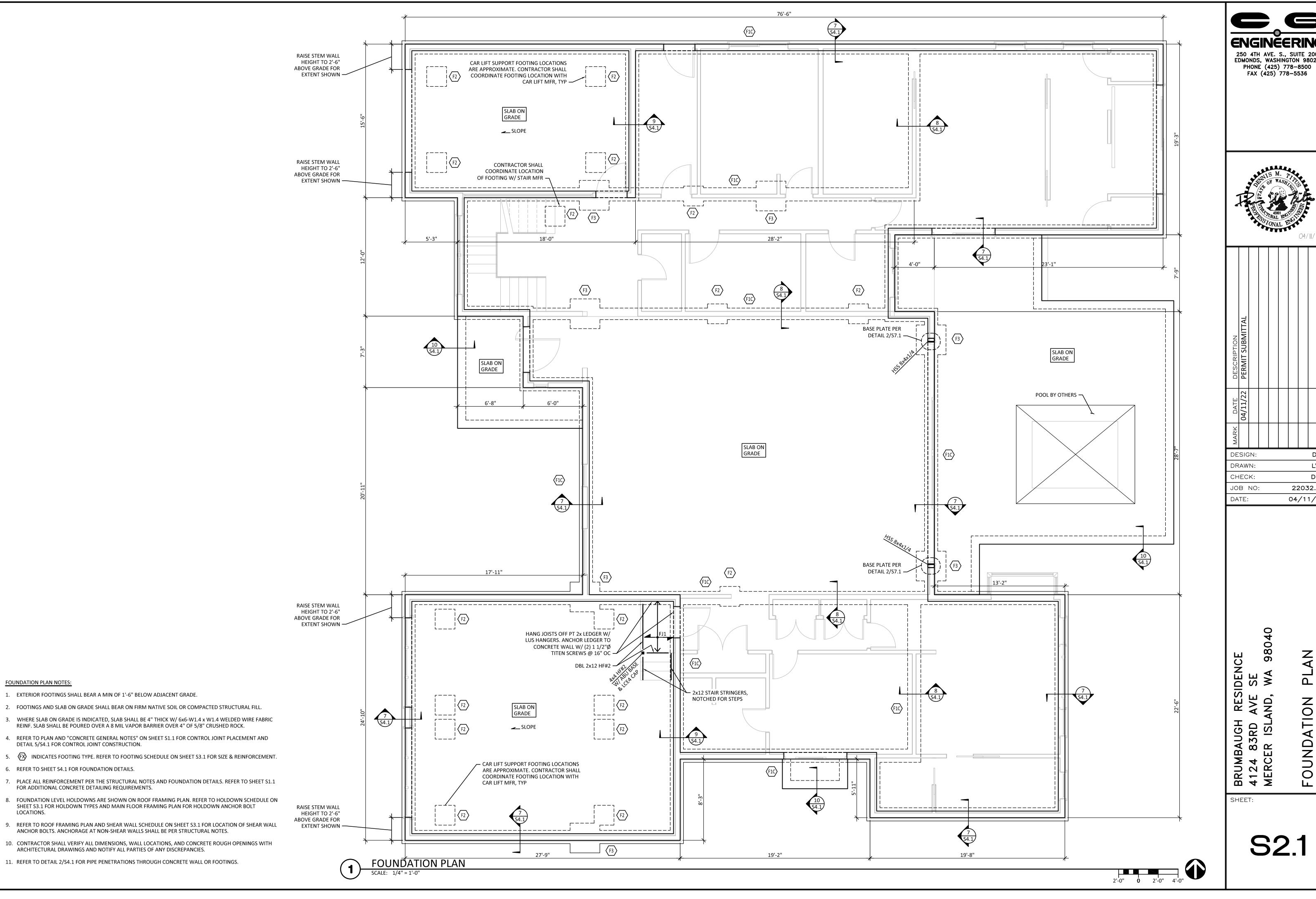
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**FOUNDATION PLAN NOTES:** 

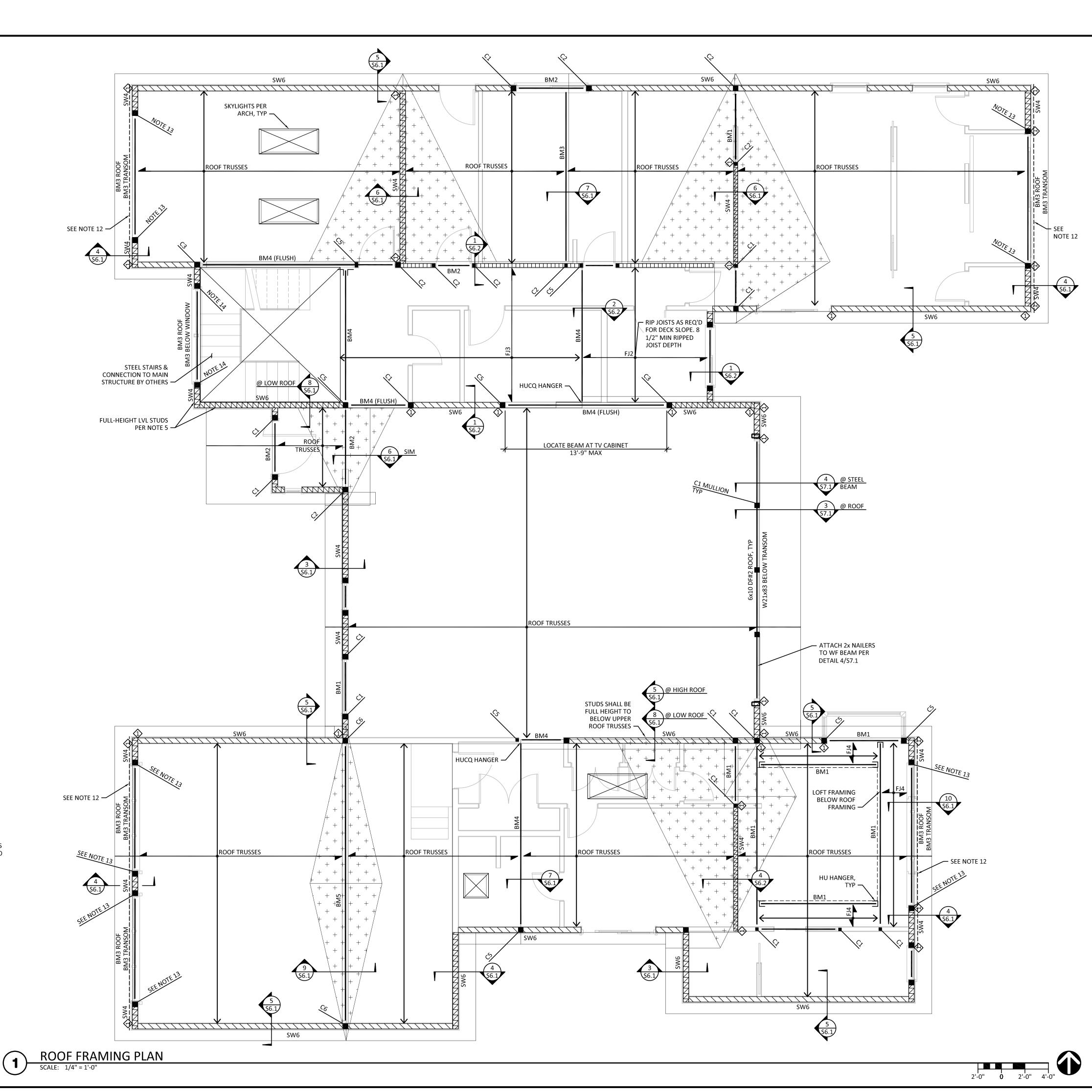
6. REFER TO SHEET S4.1 FOR FOUNDATION DETAILS.

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TYPICAL ROOF FRAMING PLAN NOTES:

1. WALLS SHOWN ON ROOF FRAMING PLAN ARE WALLS BELOW ROOF FRAMING.

FOR SHEATHING LAYOUT AND NAILING REFER TO DETAIL 2/S5.1.

OVER 15'-0" IN HEIGHT SHALL BE 1 3/4" x 5 1/2" LVL STUDS @ 16" OC.

7. REFER TO DETAIL 3/S5.1 FOR CONSTRUCTION OF MULTIPLE STUD COLUMNS.

8. HOLDOWNS SHOWN ON ROOF FRAMING PLAN SHALL BE PLACED ON FOUNDATION LEVEL.

9. ROOF TRUSSES SHALL BE PRE-ENGINEERED BY OTHERS AND SPACED AT 24" OC, TYP.

10. ATTACH ALL ROOF TRUSSES TO WALLS BELOW WITH SIMPSON H2.5 HURRICANE TIES.

12. PROVIDE CONT CS16 STRAP ABOVE AND BELOW OPENINGS PER DETAIL 5/S6.2.

DETAIL 2/S5.1 FOR SHEATHING LAYOUT AND NAILING.

6. REFER TO SHEET S6.1 FOR TYPICAL ROOF FRAMING DETAILS.

+ + SLEEPERS @ 24" OC, RIP TO MATCH ROOF SLOPE.

HEADER ATTACHMENT.

2. FLOOR & ROOFTOP DECK SHEATHING SHALL BE 3/4" PI 48/24 WITH 10d COMMON NAILS SPACED AT 6" OC AT ALL DIAPHRAGM BOUNDARIES, PANEL EDGES AND SHEAR WALLS AND 10" OC AT INTERMEDIATE FRAMING.

3. ROOF SHEATHING SHALL BE 1/2" PI 40/20 WITH 8d COMMON NAILS SPACED AT 6" OC AT ALL DIAPHRAGM

4. UNLESS NOTED OTHERWISE, HEADERS SHALL BE 4x6 HF#2 W/ (1) CRIPPLE STUD + (1) FULL HEIGHT STUD.

5. STUD WALL FRAMING SHALL BE 2x HF STUDS @ 16" OC FOR ALL STUD WALLS SHOWN ON THE PLAN. STUDS

11. \_ + + HATCHED AREAS INDICATE OVERFRAMING FOR ROOF CRICKETS. OVERFRAMING SHALL BE CONT 2x

13. PROVIDE (3) FULL-HEIGHT & (2) CRIPPLE 2x6 HF LVL STUDS. SEE DETAIL 6/S5.2 FOR HEADER ATTACHMENT.

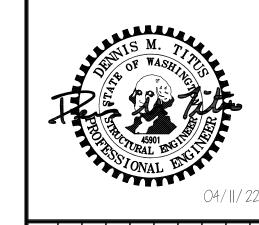
14. PROVIDE (1) FULL-HEIGHT 5 1/4" x 5 1/4" PSL COLUMN & (3) 2x6 CRIPPLE STUDS. SEE DETAIL 6/S5.2 FOR

BOUNDARIES, PANEL EDGES, SHEAR WALLS, COLLECTOR TRUSSES, AND BLOCKING OR TRUSS BLOCKING PANELS

INDICATED ON PLANS. NAILING AT INTERMEDIATE FRAMING SHALL BE 8d COMMON NAILS @ 12" OC. REFER TO

ENGINEERING

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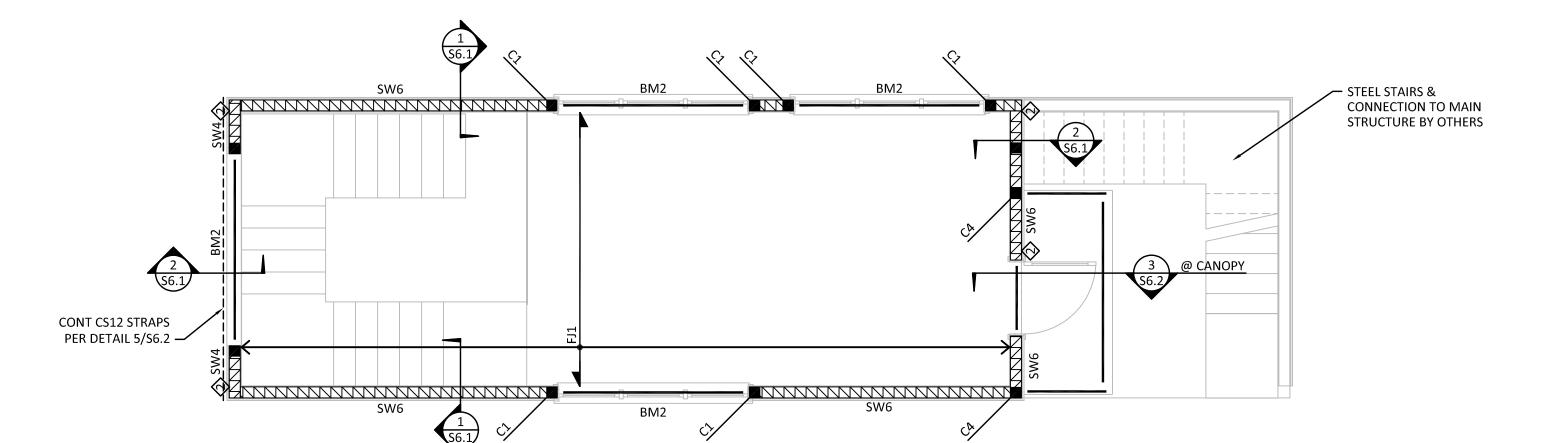
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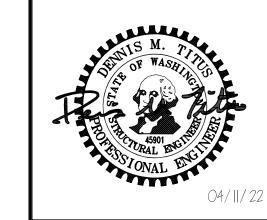
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**S2.3** 

ROOF FRAMING PLAN NOTES:

ROOFTOP DECK FRAMING PLAN

SCALE: 1/4" = 1'-0"

	SHEAR WALL SCHEDULE									
TYPE	APA-RATED SHEATHING	MIN FRAMING AT ADJOINING PANEL EDGES (SEE NOTE 5)	SHEAR WALL NAILING AT PANEL EDGES	RIM JOIST OR BLOCK CONN TO TOP PLATE	SILL PLATE NAILING TO RIM/BLKG BELOW	SILL PLATE ANCHOR BOLT TO SLAB OR FOUNDATION (SEE NOTE 11)	FOUNDATION SILL PLATE SIZE	SHEAR CAPACITY (PLF)		
SW6	15/32" ONE SIDE	2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 6" OC	LTP4 OR A35 @ 24" OC	0.131"Ø x 3" @ 6" OC	5/8"Ø AB @ 5'-0" OC	2x	242		
SW4	15/32" ONE SIDE	2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 4" OC	LTP4 OR A35 @ 20" OC	0.131"Ø x 3" @ 4" OC	5/8"Ø AB @ 4'-0" OC	2x	350		
SW3	15/32" ONE SIDE	(2) 2x STUD AND 2x FLAT BLKG	0.131"Ø x 2 1/2" @ 3" OC	LTP4 OR A35 @ 15" OC	0.131"Ø x 3" @ 3" OC	5/8"Ø AB @ 3'-0" OC	2x	455		
SW2	15/32" ONE SIDE	3x STUD AND 2x FLAT BLKG	0.131"Ø x 2 1/2" @ 2" OC	LTP4 OR A35 @ 12" OC	0.131"Ø x 3" @ 2.5" OC	5/8"Ø AB @ 2'-6" OC	2x	595		
2SW4	15/32" BOTH SIDES	(2) 2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 4" OC	LTP4 OR A35 @ 10" OC	0.131"Ø x 3" @ 2" OC	5/8"Ø AB @ 2'-0" OC	2x	706		
2SW3	15/32" BOTH SIDES	(2) 2x STUD AND BLKG	0.131"Ø x 2 1/2" @ 3" OC	LTP4 OR A35 @ 7.5" OC	0.131 x 3" @ 1.5" OC	5/8"Ø AB @ 1'-6" OC	2x	910		
2SW2	15/32" BOTH SIDES	3x STUD AND BLKG	0.131"Ø x 2 1/2" @ 2" OC	LTP4 OR A35 @ 6" OC	0.131 x 3" @ 1.5" OC	5/8"Ø AB @ 1'-0" OC	2x	1190		

- NOTES:

  1. REFER TO THE TYPICAL SHEAR WALL DETAIL.
- THE VALUES IN THIS TABLE ARE APPROPRIATE FOR HF GRADE STUDS AND HF GRADE PLATES & RIM/BLOCKING. NAILS AT ADJOINING PANEL EDGES SHALL BE STAGGERED EACH SIDE OF THE COMMON JOINT.
- WHERE PANELS ARE APPLIED ON BOTH FACES OF A WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS, OR FRAMING
- SHALL BE 3x AT ADJOINING PANEL EDGES AND NAILS SHALL BE STAGGERED. WHERE TABLE SPECIFIES (2) 2x FRAMING, CONNECT (2) 2x STUDS AND BLOCKING AS FOLLOWS: SW3 = (2) 0.131"Ø@ 3.5" OC, 2SW4 = 0.131"Ø@ 2.5" OC, 2SW3 = (2) 0.131"Ø @ 1.5" OC.
- NOTE THAT 3x FRAMING MAY BE USED IN LIEU OF (2) 2x FRAMING SPECIFIED IN TABLE.
- INTERMEDIATE FRAMING TO BE WITH 2x MINIMUM MEMBERS. FIELD NAILING 12" OC MAXIMUM.
- AT ALL 5/8"Ø SILL PLATE ANCHOR BOLTS, INSTALL 1/4" x 3" x 3" PLATE WASHERS. EDGE OF PLATE WASHER SHALL BE WITHIN 1/2" OF SHEATHED EDGE.
- FOR DOUBLE SIDED SHEAR WALLS, USE WIDER PLATE WASHERS AS REQUIRED TO MEET THIS REQUIREMENT.
- PROVIDE A MINIMUM OF 7" EMBEDMENT FOR AB INTO FOUNDATION OR STEM WALL. 10. 7/16" SHEATHING MAY BE USED IN PLACE OF 15/32" SHEATHING PROVIDED ALL STUDS ARE SPACED 16" OC OR PANELS ARE APPLIED WITH LONG

	BEAM SCHEDULE									
MARK	BEAM	REMARKS	HANGER AS REQ'D							
BM1	4x10 HF#2	-	-							
вм2	3 1/2 x 9 1/2 2.0E PSL	SEE NOTE 5	-							
вмз	5 1/4 x 9 1/2 2.0E PSL	SEE NOTE 5	-							
BM4	5 1/4 x 11 1/4 2.0E PSL	SEE NOTE 5	-							
BM5	5 1/4 x 18 2.0E PSL	SEE NOTE 5	1							
WF	ALL WF BEAMS CALLED OUT ON PLAN	-	-							

- 1. REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR HANGER INSTALLATION INFORMATION. REFER TO FRAMING PLANS AND NOTES FOR SUPPORTS AT BEAM ENDS.
- ALL BEAMS EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE
- PRESSURE TREATED.
- 4. REFER TO PLAN NOTES FOR BEAMS & HEADERS AT BEARING LOCATIONS THAT ARE NOT CALLED OUT.
  5. IF PSL SUPPLIER DOS NOT STOCK EXACT DEPTH OF BEAMS LISTED, CONTRACTOR SHALL COORDINATE
- WITH SUPPLIER TO RIP BEAMS TO EXACT DIMENSIONS LISTED ON TABLE.

JOIST SCHEDULE								
MARK	JOIST	SPACING	REMARKS					
FJ1	2x12 HF#2	16" OC	SEE NOTE 1					
FJ2	1 3/4"x 11 7/8" LVL	16" OC	-					
FJ3	16" TJI 110	16" OC	SEE NOTE 1					
FJ4	2x10 HF#2	16" OC	SEE NOTE 1					

. FOR JOIST HANGERS REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR ALL INSTALLATION REQUIREMENTS. TIMBER JOISTS FRAMING INTO WOOD BEAMS SHALL USE LUS OR SLOPED LSSU FACE MOUNT HANGERS.

	COLUM	N SCHEDU	LE
MARK	COLUMN SIZE 2x4 WALL	COLUMN SIZE 2x6 WALL	REMARKS
C1	(2) 2x4	(2) 2x6	SEE NOTE 2
C2	(3) 2x4	(3) 2x6	SEE NOTE 2
C3	(4) 2x4	(4) 2x6	SEE NOTE 2
C4	4x6 HF#1	4x6 HF#1	-
C5	4x8 HF#1	6x6 DF#1	-
C6	4x10 HF#1	6x8 DF#1	
C7	-	5 1/4 x 5 1/4 1.8E PSL	

- 1. REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR PRE-FABRICATED CONNECTION INSTALLATION REQUIREMENTS.
- 2. MULTIPLE STUD COLUMNS SHALL USE GRADE OF STUD INDICATED ON WALL
- FRAMING SCHEDULE. REFER TO DETAIL 3/S5.1 FOR FABRICATION OF MULTIPLE STUD COLUMNS.
- 3. CONTRACTOR TO PROVIDE BLOCKING EQUAL TO COLUMN DIMENSIONS AT JOIST SPACE FOR COLUMNS CONTINUING TO FOUNDATION.

	HOLDOWN SCHEDULE									
MARK	TYPE	MIN CHORD SIZE	STUD NAILS OR BOLTS	ANCHOR BOLT (SEE NOTE 4)	CAPACITY (LB)					
(1)	HDU5	(2) 2x	(14) SDS 1/4" x 2 1/2" SCREWS	5/8"Ø	4,340					
2	MST48	(2) 2x	(17) 16d EA END	-	3,640					

- REFER TO THE LATEST SIMPSON STRONG-TIE CATALOG FOR ADDITIONAL INSTALLATION REQUIREMENTS. INSTALL HD HOLDOWNS AT FOUNDATION WALLS OR THICKENED SLAB FOOTINGS PER DETAIL 4/S4.1.
- AT ALL HOLDOWN CHORDS, PROVIDE PANEL EDGE NAILING PER SHEAR WALL SCHED.
- REFER TO DETAIL 8/S5.1 FOR FLOOR TO FLOOR MST STRAPS. REFER TO DETAIL 9/S5.1 FOR MST STRAP CONNECTION TO BEAM/HEADER.

FOOTING SCHEDULE							
MARK	FOOTING SIZE	REINFORCING	COMMENTS				
(F1C)	1'-2" x 0'-10" DEEP x CONTINUOUS	(3) #4 CONTINUOUS	-				
(F2)	2'-0" x 2'-0" x 0'-10" DEEP	(3) #4 EACH WAY BOTTOM	-				
F3	3'-0" x 3'-0" x 0'-10" DEEP	(4) #4 EACH WAY BOTTOM	-				

NOTES:

1. ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED NATIVE SOIL OR COMPACTED STRUCTURAL FILL.

1. ALL FOOTINGS THRU SPREAD FOOTINGS 2. REINFORCEMENT SHALL BE CONTINUED FROM CONTINUOUS FOOTINGS THRU SPREAD FOOTINGS WHERE APPLICABLE.





	PERMIT SUBMITTAL					
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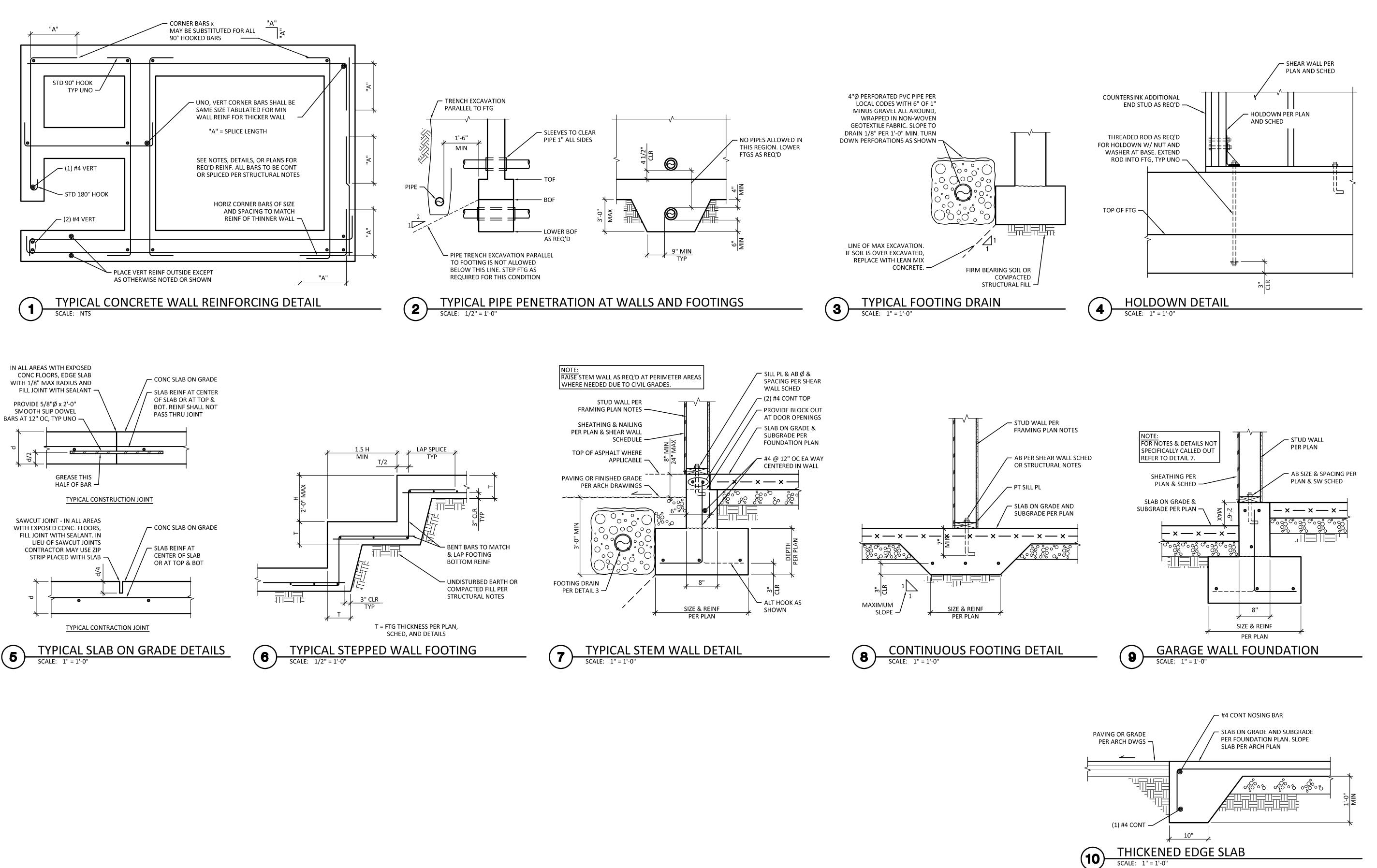
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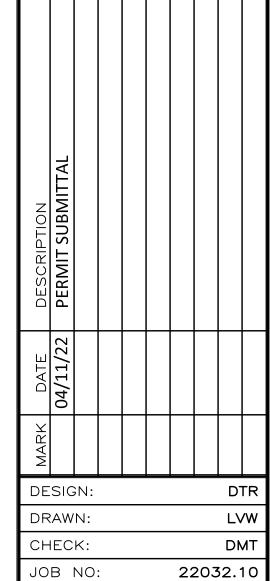
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SHEET:



**ENGINEERING** 250 4TH AVE. S., SUITE 200 EDMONDS, WASHINGTON 98020 PHONE (425) 778-8500 FAX (425) 778-5536





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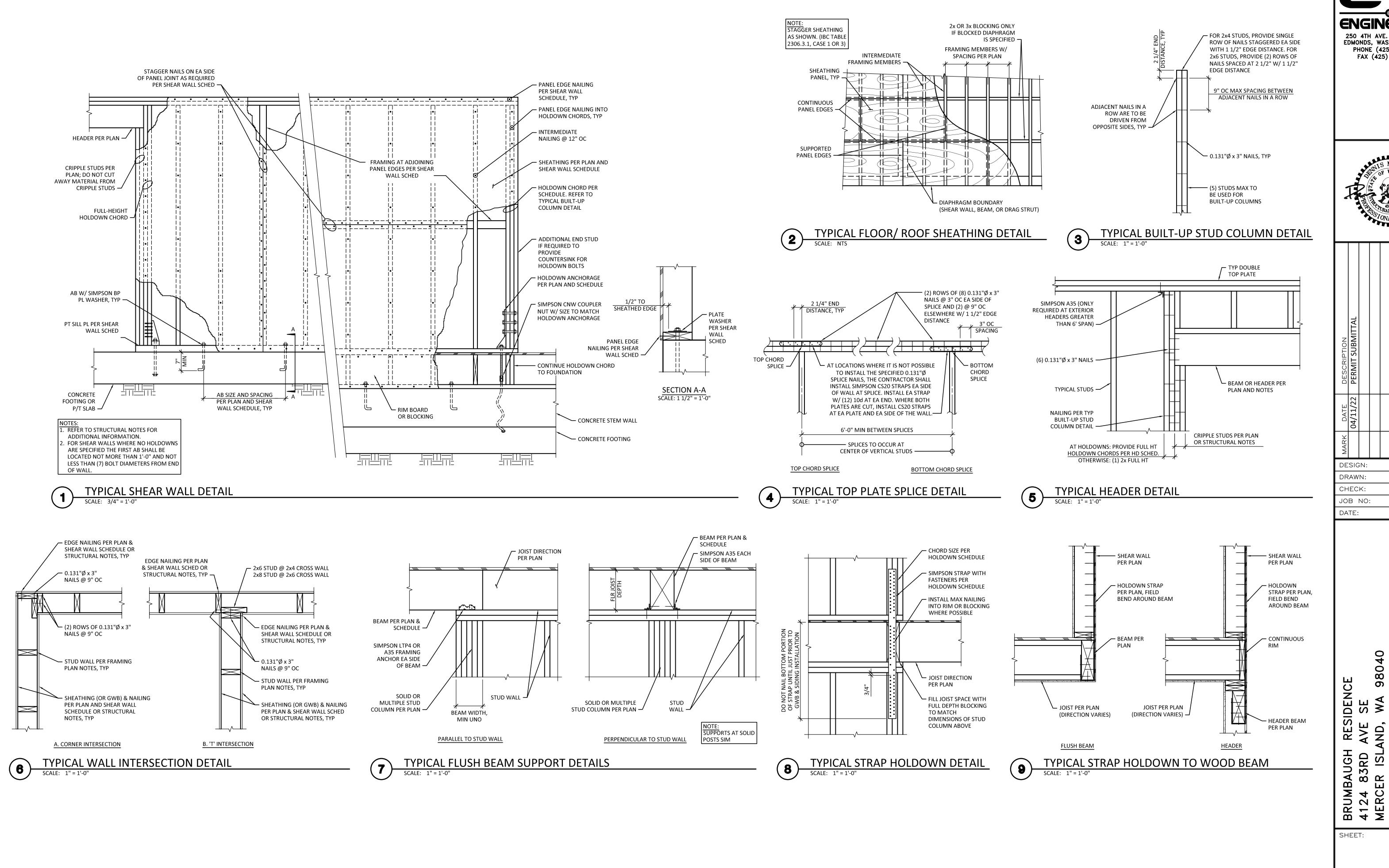
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BRUMBAUGH 4124 83RD MERCER ISLA

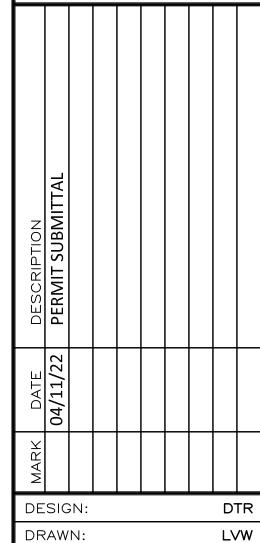
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**S4.1** 



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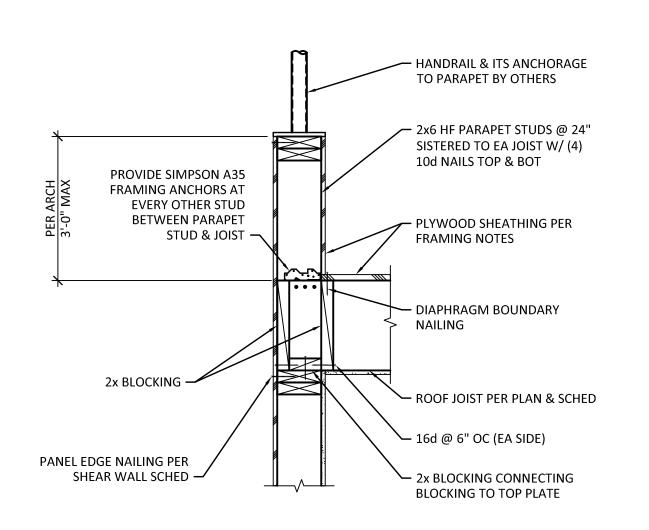
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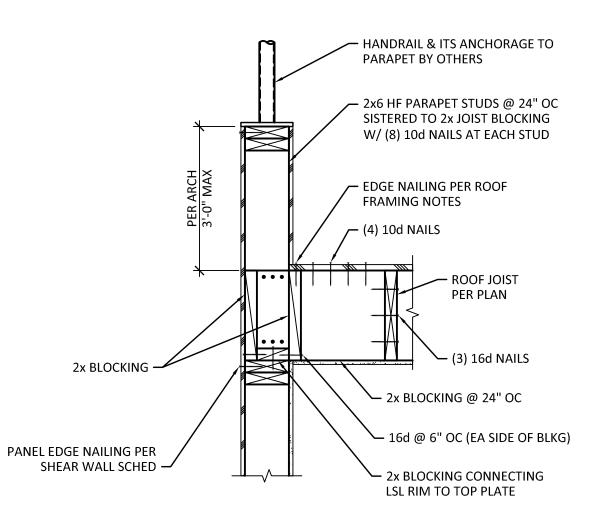
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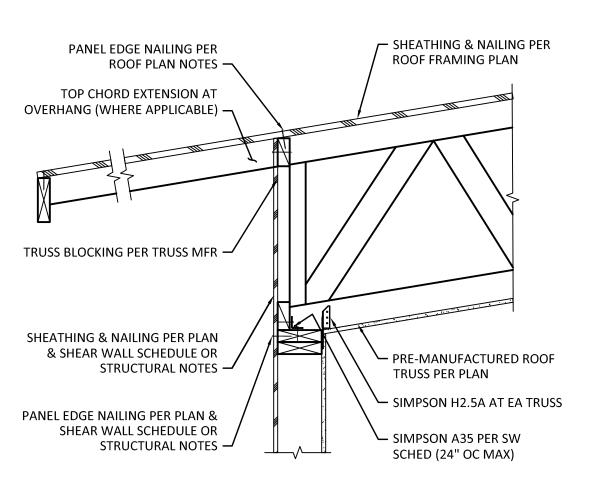
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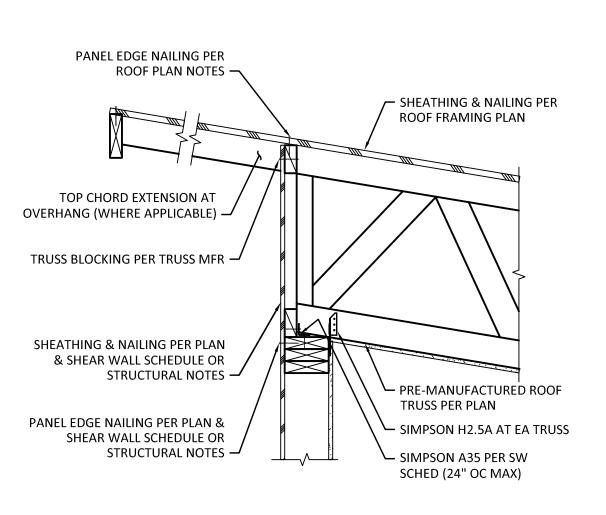
980 DEN SE WA AVE ND, 0

**S5.1** 









BOTH ASSOLUTION OA/ II/ 2

250 4TH AVE. S., SUITE 200

EDMONDS, WASHINGTON 98020

PHONE (425) 778-8500

FAX (425) 778-5536

FLAT ROOF SECTION W/ PARAPET (BEARING)

SCALE: 1" = 1'-0"

FLAT ROOF SECTION W/ PARAPET (NON-BEARING)

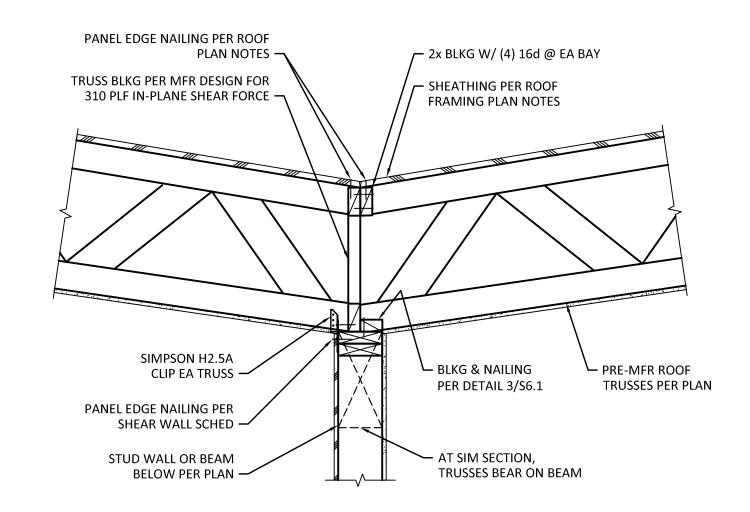
PARALLEL CHORD TRUSS FRAMING (BEARING)

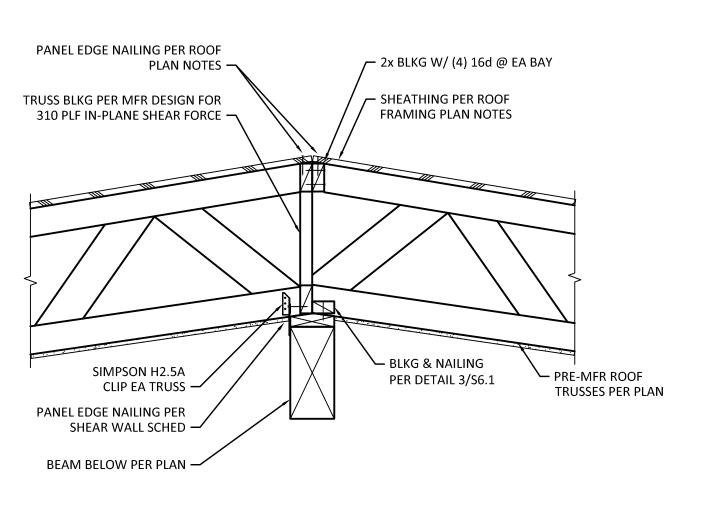
SCALE: 1" = 1'-0"

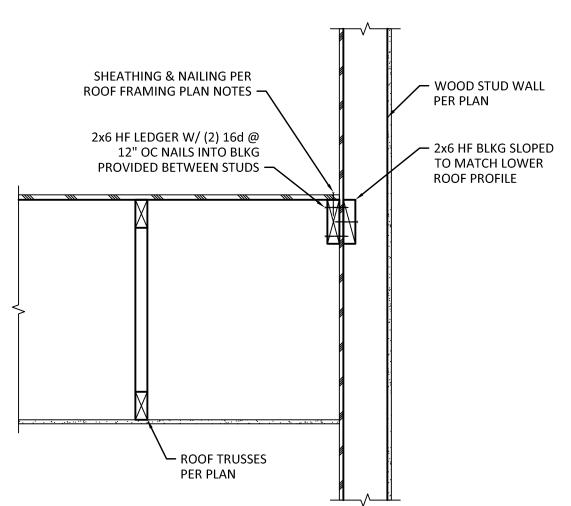
PARALLEL CHORD TRUSS FRAMING (BEARING)

SCALE: 1" = 1'-0"

SHEATHING & NAILING PER ROOF FRAMING PLAN -PANEL EDGE NAILING PER ROOF PLAN NOTES — SIMPSON A34 TOP & BOT (ONLY REQ'D WHEN ROOF TOP CHORD EXTENSION AT HAS OVERHANG) OVERHANG (WHERE APPLICABLE) — TRUSS BLOCKING PER TRUSS MFR — SHEATHING & NAILING PER PLAN & SHEAR WALL SCHEDULE OR STRUCTURAL NOTES — PRE-MANUFACTURED ROOF TRUSS PER PLAN – SIMPSON A35 ` PER SW SCHED TRUSS BLKG PER MFR @ PANEL EDGE NAILING PER PLAN (24" OC MAX) 48" OC, FIRST BAY ONLY & SHEAR WALL SCHEDULE OR STRUCTURAL NOTES — ROOF HAS OVERHANG) EA TRUSS BLOCK







PARALLEL CHORD TRUSS FRAMING (NON-BEARING)

SCALE: 1" = 1'-0"

PARALLEL CHORD TRUSS BEARING SECTION

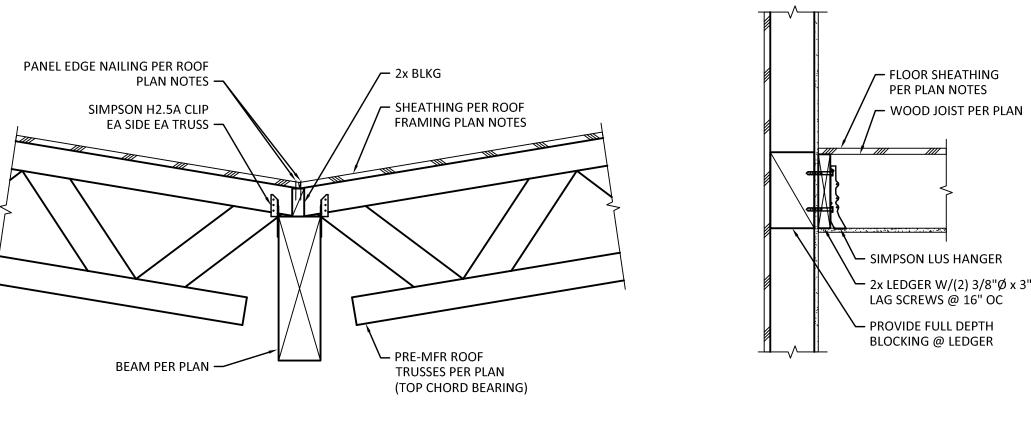
SCALE: 1" = 1'-0"

PARALLEL CHORD TRUSS BEARING SECTION

SCALE: 1" = 1'-0"

SECTION AT LOWER ROOF

SCALE: 1" = 1'-0"



PARALLEL TOP CHORD TRUSS BEARING SECTION

SCALE: 1" = 1'-0"

LOFT SECTION

SCALE: 1" = 1'-0"

BRUMBAUGH RESIDENCE
4124 83RD AVE SE
MERCER ISLAND, WA 98040
ROOF FRAMING DETAILS

SHEET:

DESIGN:

DRAWN:

CHECK:

JOB NO:

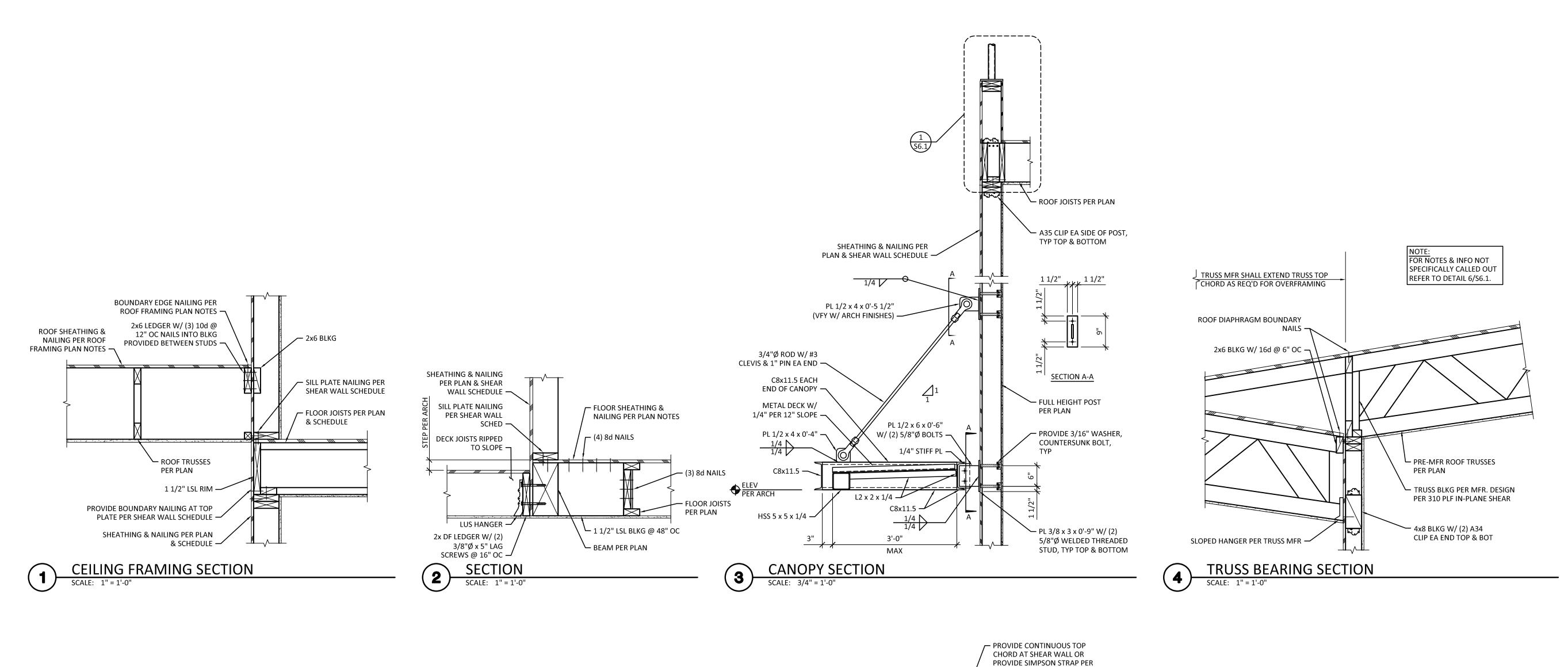
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**S6.1** 



PROVIDE CONTINUOUS TOP CHORD AT

ENTIRE TOP CHORD AT PERFORATION

SHEAR WALL OR PROVIDE STRAP PER PLAN

➤ 4x HF BLOCKING, TYP

➤ CONTINUOUS STRAP PER

PLAN W/ 10d NAILS AT ALL

NAIL HOLES OVER ENTIRE

LENGTH OF PERFORATED

— END STUDS PER

HOLDOWN SCHEDULE, TYP

SHEAR WALL

W/ 10d NAILS AT ALL NAIL HOLES ALONG

SHEAR WALL SHEATHING &

► HEADER PER PLAN

- HEADER SUPPORTS PER

- ADDITIONAL

INTERMEDIATE

CHORD PER SHEAR

WALL SCHEDULE

A. ELEVATION AT DOOR

FORCE-TRANSFER SHEAR WALL DETAIL

SCALE: NTS

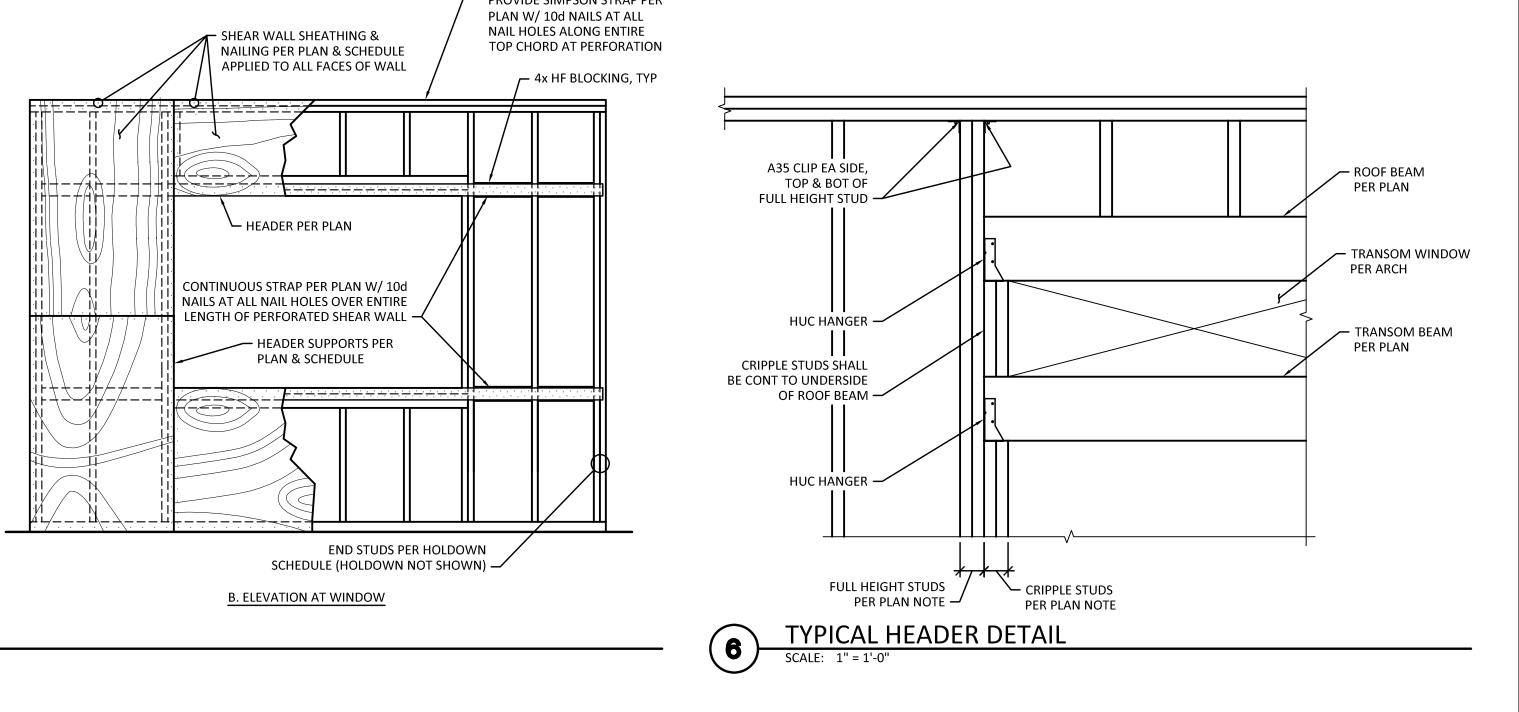
PLAN & SCHEDULE —

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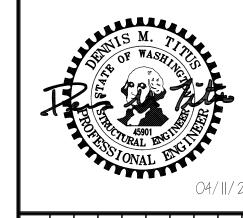
1 H H — + /4 M + - - + - + i b

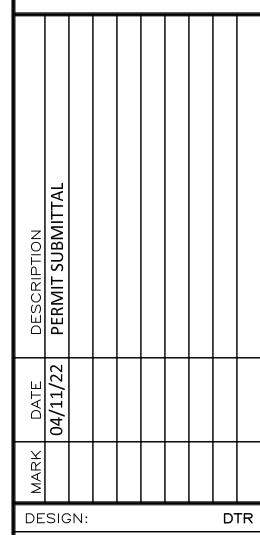
NAILING PER PLAN & SCHEDULE

APPLIED TO ALL FACES OF WALL







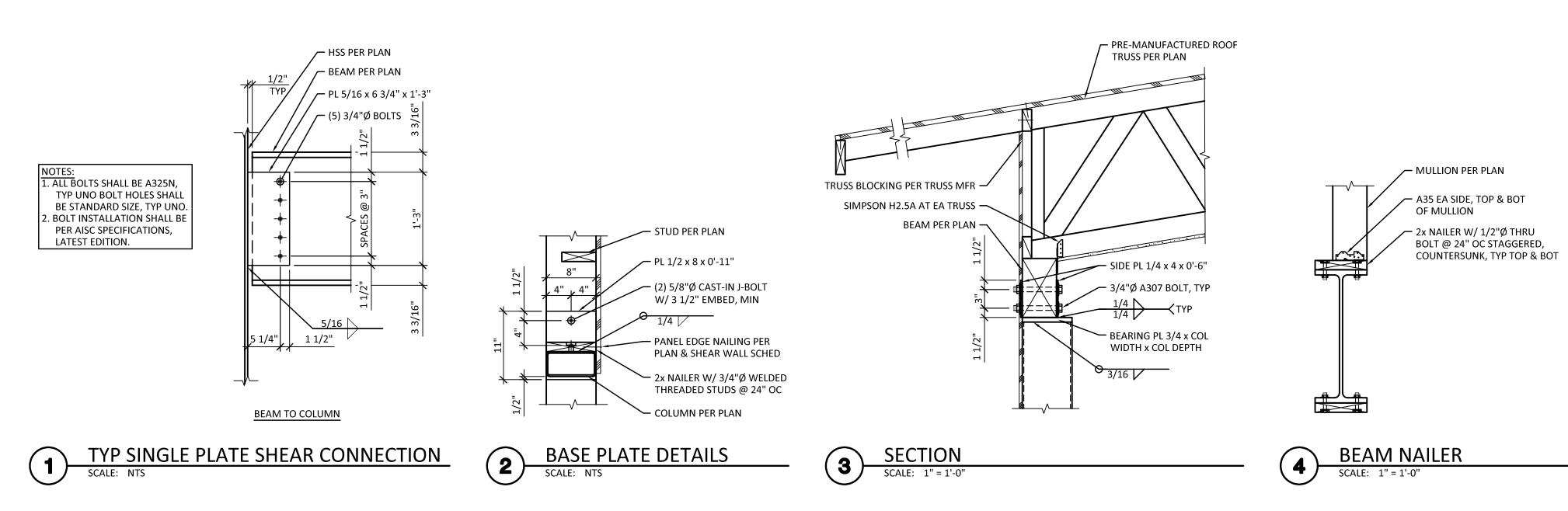


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SHEET:

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┢	DESIGN: DTR DRAWN: LVW								

CHECK: DMT

JOB NO: 22032.10

DATE: 04/11/22

JGH RESIDENCE SRD AVE SE ISLAND, WA 98040

> 4124 8 MERCER

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DETAILS